



**TOWN AND VILLAGE OF ELLICOTTVILLE  
BUILDING / CODE ENFORCEMENT  
DIVISION**



17 MILL ST. ELLICOTTVILLE, NY 14731

PHONE: (716) 699-4773

E-MAIL: [kelly.fredrickson@evlengineering.com](mailto:kelly.fredrickson@evlengineering.com)

**COMBINED APPLICATION**

Check all that apply:

TOWN

VILLAGE

App. #

ZONING PERMIT

SPECIAL USE PERMIT

INTENT TO SUBDIVIDE

MASTER PLANNED DEVELOPMENT

SITE PLAN REVIEW

AMENDMENT TO ZONING ORDINANCE/MAP

**APPLICANT INFORMATION:**

Applicant's name: \_\_\_\_\_

Mailing address: \_\_\_\_\_

Cell Phone Number: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Applicant must be (check all that apply):    Owner    Operator    Lessee

Applicant's Engineer or representative: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**PROPERTY OWNER INFORMATION (if different than Applicant)**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Cell Phone Number: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**PROPERTY / FACILITY NAME**

Address: \_\_\_\_\_

Property tax map #: \_\_\_\_\_

Current use of property:

Description of Proposed Project/Use (attach additional pages and plans):

Zoning Requirements

Front yard setback: \_\_\_\_\_ Rear yard setback: \_\_\_\_\_

Side yard setback: \_\_\_\_\_ Combined side: \_\_\_\_\_

Minimum lot size: \_\_\_\_\_ Width: \_\_\_\_\_

Height: \_\_\_\_\_ Floor area ratio: \_\_\_\_\_

Open space: \_\_\_\_\_

Site Information

Size of site: \_\_\_\_\_ Sq. Ft. Size of area to be developed: \_\_\_\_\_ Sq. Ft.

Number of proposed lots: \_\_\_\_\_

Proposed method of Sanitary Sewage disposal: \_\_\_\_\_

Proposed method of Water Supply: \_\_\_\_\_

If public utilities are proposed, are they available to site?

<u>Sanitary Sewer</u>	Yes	No	<u>Water</u>	Yes	No
-----------------------	-----	----	--------------	-----	----

Will the project require the formation or extension of a Water and/or Sanitary Sewer District?

<u>Sanitary Sewer</u>	Yes	No	<u>Water</u>	Yes	No
-----------------------	-----	----	--------------	-----	----

Main Structure:

Construction type: \_\_\_\_\_ Front yard setback: \_\_\_\_\_ feet

Height: \_\_\_\_\_ stories, \_\_\_\_\_ feet Side yard setback: \_\_\_\_\_ feet

# of family units: \_\_\_\_\_ Total of both side yard setbacks: \_\_\_\_\_ feet

Size of lot: \_\_\_\_\_ Sq. Ft. Rear yard setback: \_\_\_\_\_ feet

Open space: \_\_\_\_\_ % Floor area ratio: \_\_\_\_\_

Corner or interior lot? \_\_\_\_\_ Other: \_\_\_\_\_

Accessory Building:

Description:

Percentage of yard: \_\_\_\_\_ Height: \_\_\_\_\_ feet

Setback from rear lot line: \_\_\_\_\_ feet Setback from side lot line: \_\_\_\_\_ feet

Floodplain:

FIRM Zone \_\_\_\_\_ BFE \_\_\_\_\_

Flood Plain Development Permit Required? YES NO

**ATTACHMENTS**

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

**SIGNATURES**

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant must be (check all that apply):    Owner                    Operator                    Lessee

Applicant Name:<sup>Print</sup> \_\_\_\_\_

Property Owner’s Signature (if different than applicant)  
\_\_\_\_\_ Date: \_\_\_\_\_

Property Owner’s Name:<sup>Print</sup> \_\_\_\_\_

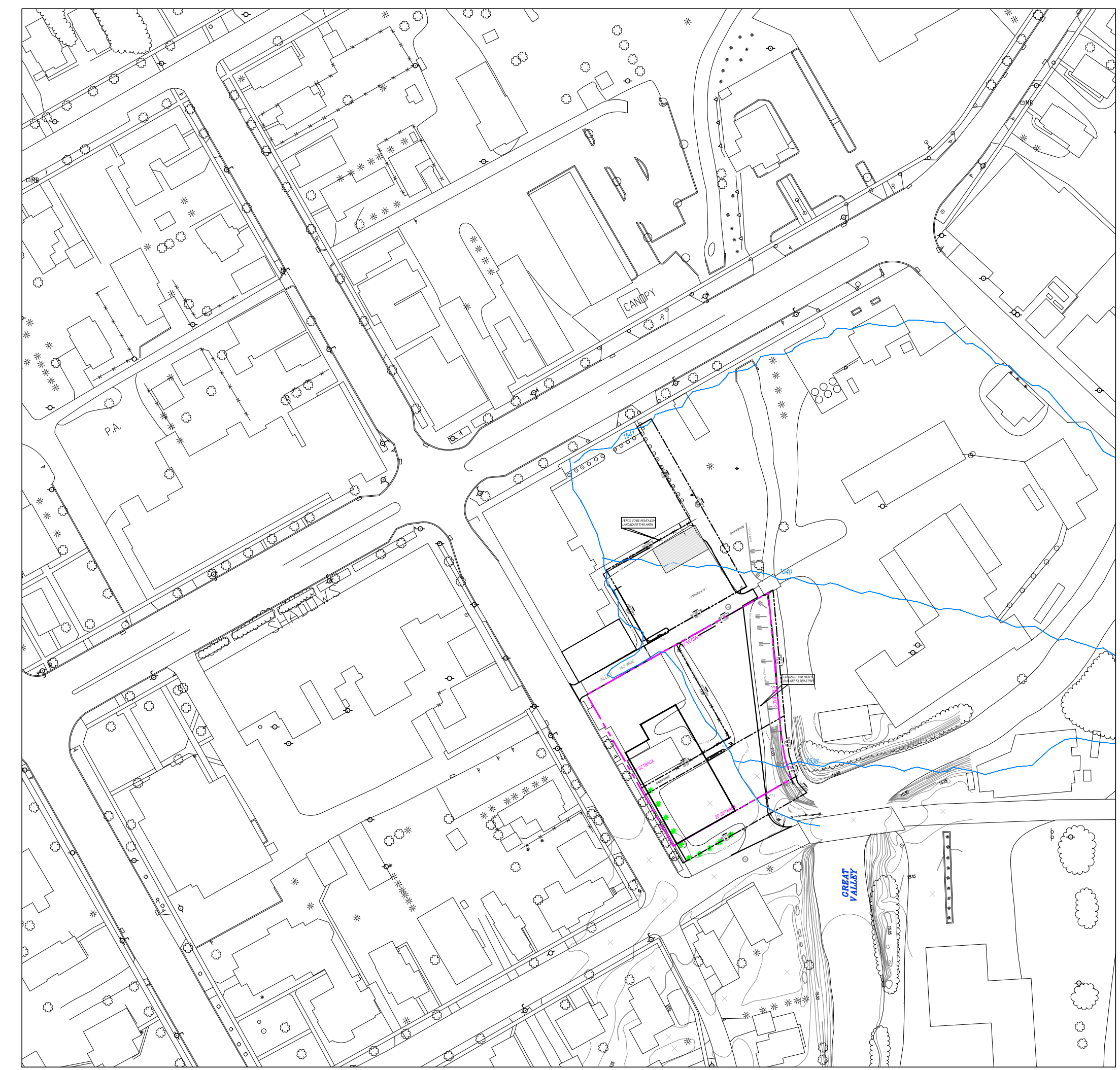
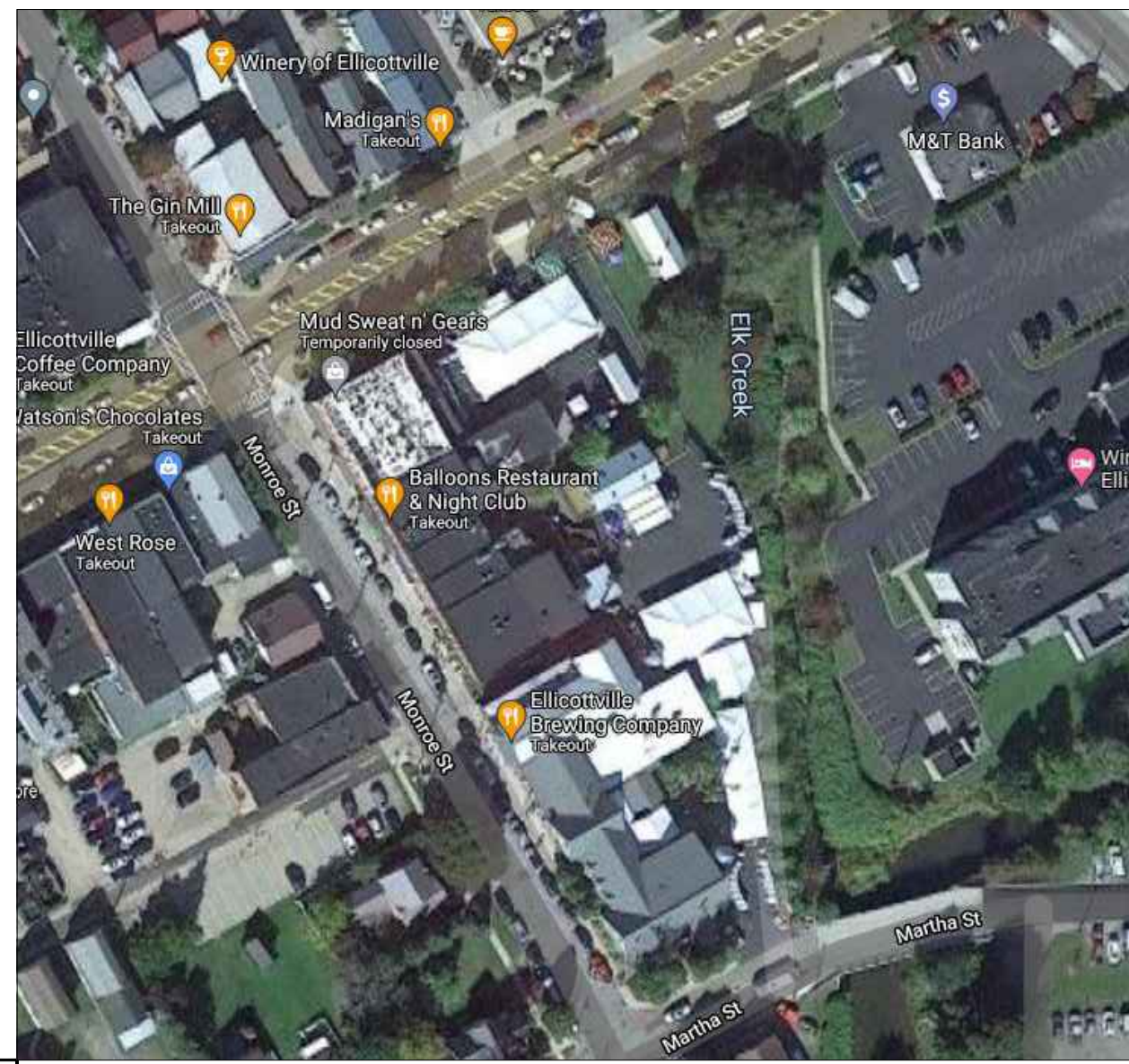
Office use only:

Application Fee(s) \_\_\_\_\_

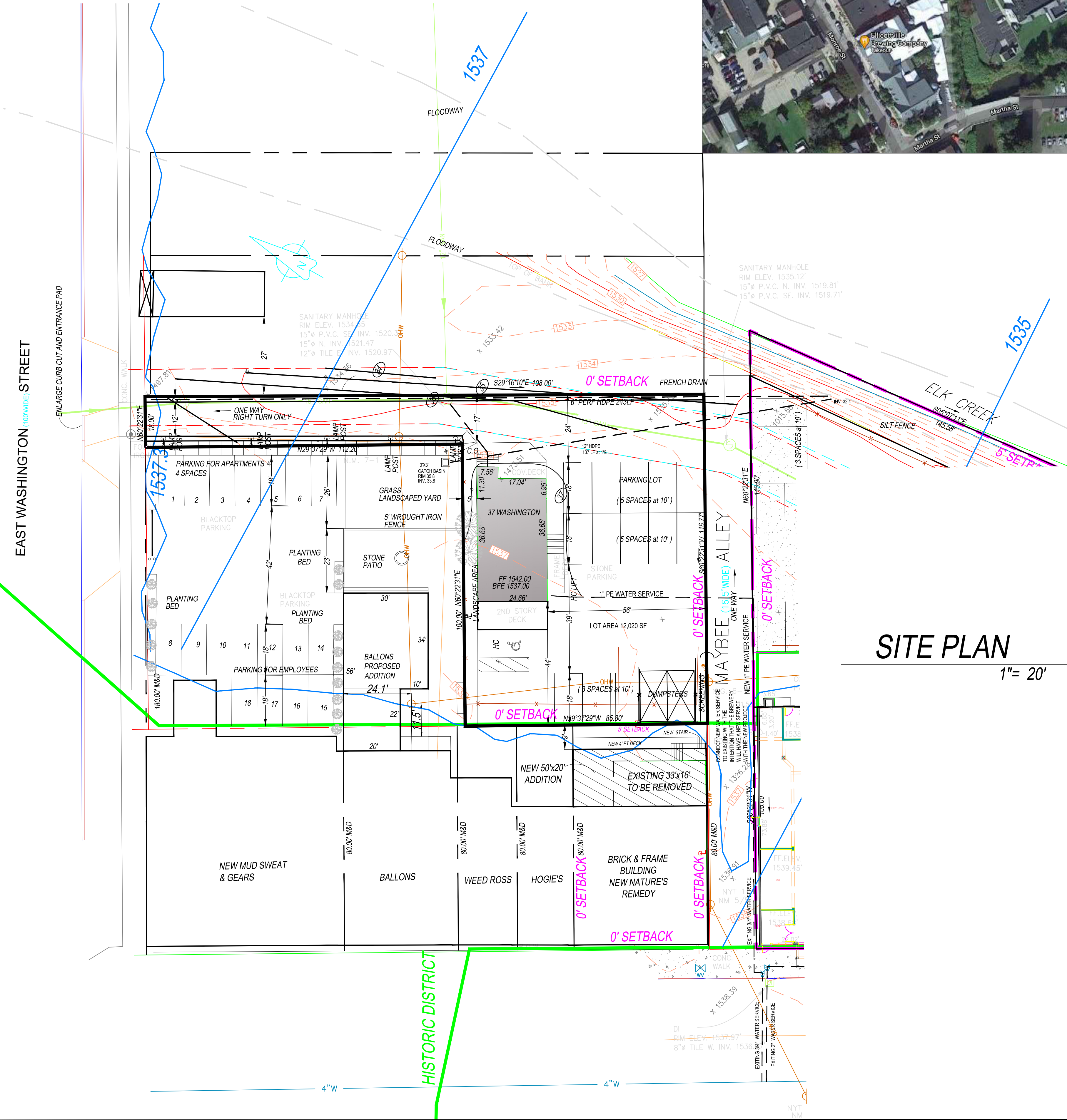
Received by: \_\_\_\_\_ on \_\_\_\_\_ (Date)

Project Number(s): \_\_\_\_\_

KREINHEDER PROPERTIES, LLC  
TAX PACEL 55.035-6-13.1



LOCATOR MAP  
1"=100'



SITE PLAN  
1"= 20'

**REQUIRED ZONING-VC-1**  
**SIDE YARD SETBACK-0', 20' ON CORNER LOT**  
**REAR YARD SETBACK- 5'**  
**FRONT YARD SETBACK- 0'**  
**BLDG. HEIGHT 40'-3 STORIES**  
**FLOOR AREA RATIO -NA**  
**OPEN SPACE-20%**

**BUILDING IS EXISTING**  
**CHANGE OF USE IS REQUESTED**

**37 WASHINGTON RENTAL BUILDING**  
**3 BEDROOMS -3 PARKING SPACES REQUIRED**  
**PROVIDED -14 PARKING SPACES**

AARON B. TILLER

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES  
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

SITE PLAN

DOCUMENT STATUS

DATE: 11-20-2023  
 NOT FOR CONSTRUCTION  
 PROGRESS SET  
 PRELIMINARY  
 FINAL  
 ISSUED BY: ABT

RESIDENTIAL DESIGN  
FOR  
**KREINHEDER PROPERTIES, LLC**  
 37 WASHINGTON STREET  
 ELLICOTTVILLE, NEW YORK 14731

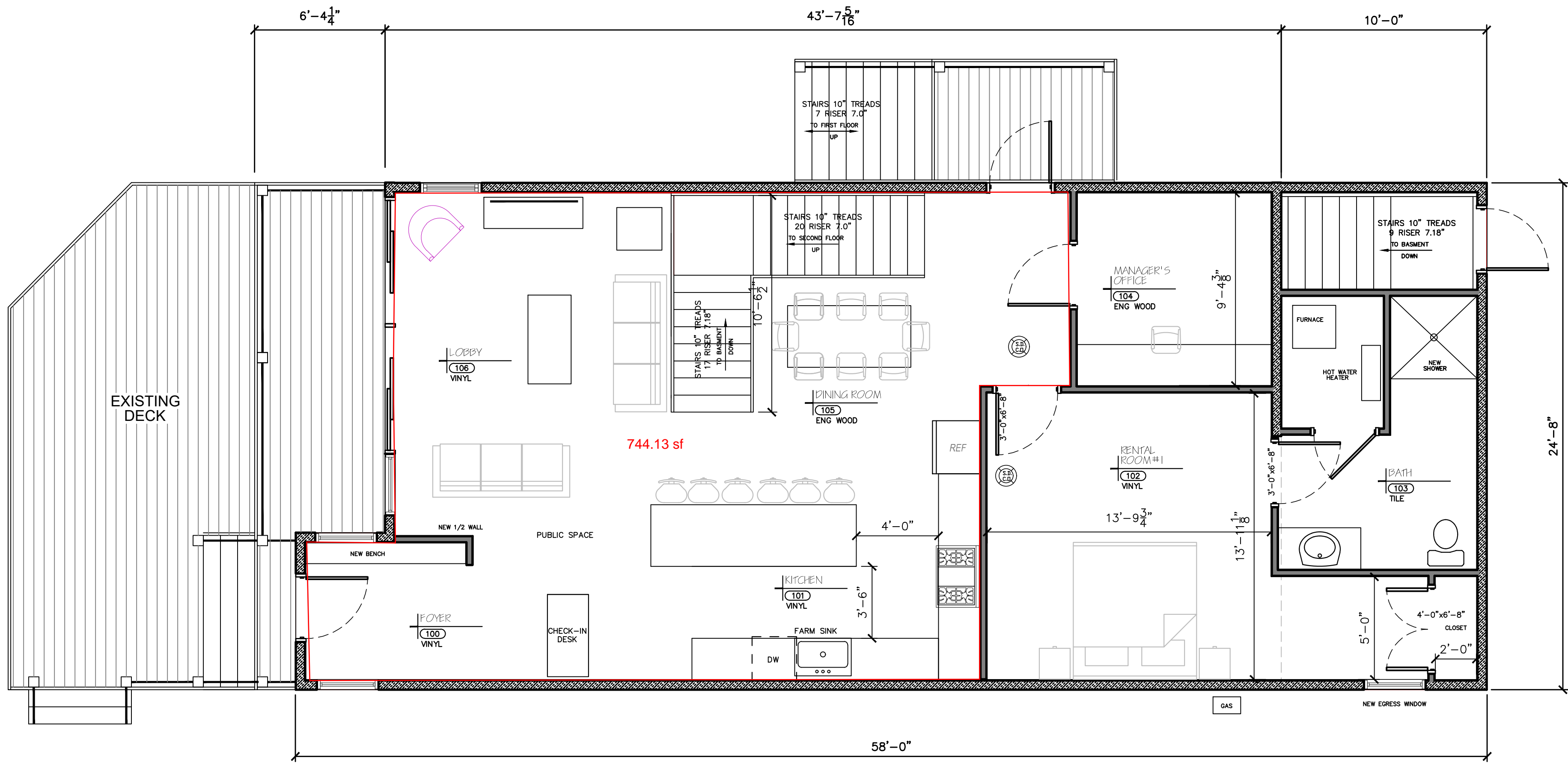
REVISION DATE:	DRAWN BY:
DATE: 11-20-2023	REVIEWED BY:
DRAWING NO:	C101

**AARON B. TILLER**

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES

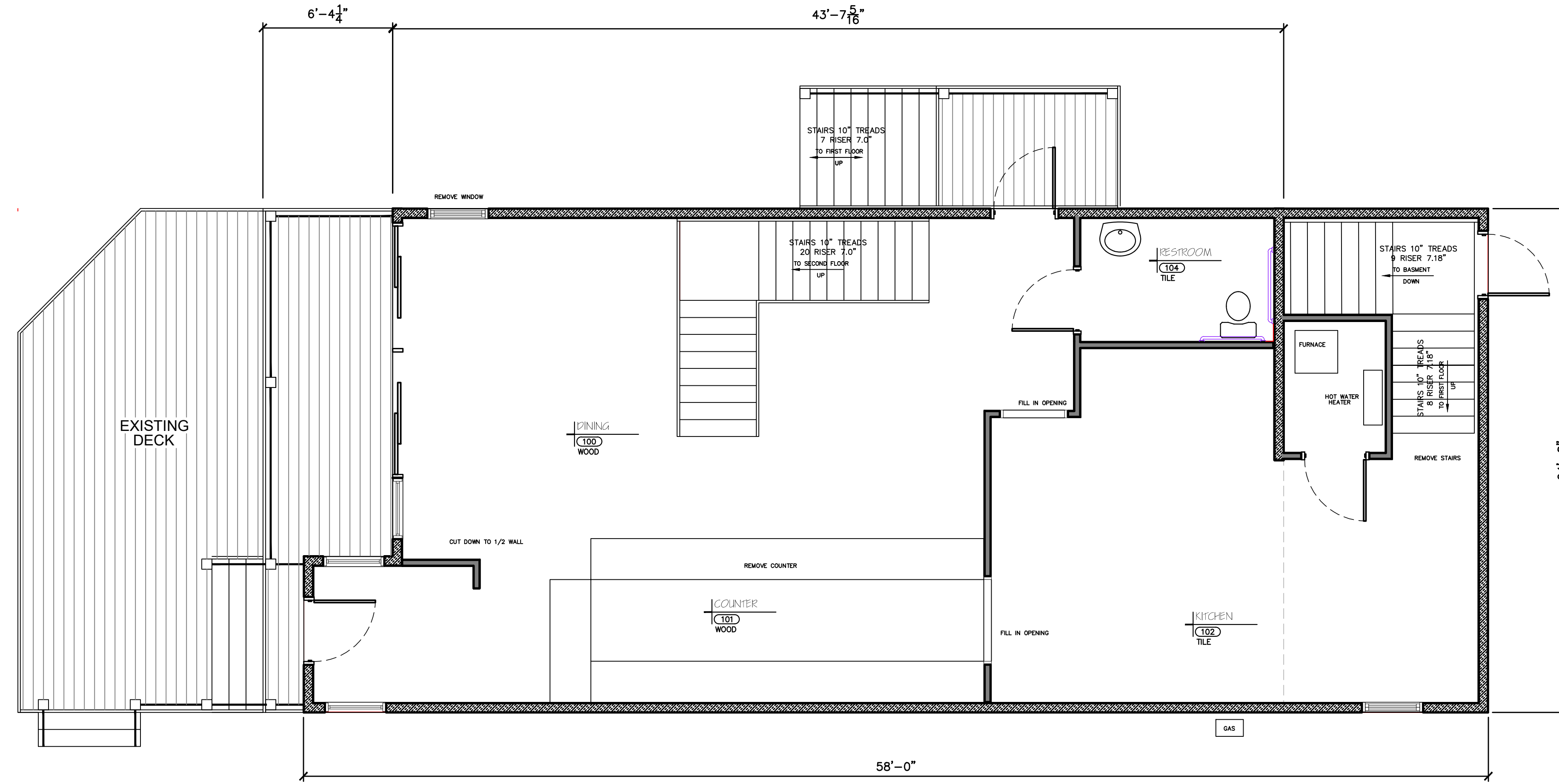
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

**FIRST FLOOR PLAN**



**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"  
FIRST FLOOR AREA=1,354 SF



**EXISTING FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"  
FIRST FLOOR AREA=1,354 SF

**DOCUMENT STATUS**

DATE: 11-20-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

RESIDENTIAL DESIGN  
FOR

**KREINHEDER PROPERTIES, LLC**

37 WASHINGTON STREET  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:

DRAWN BY:

DATE:

12-08-2023

REVIEWED BY:

DRAWING NO:

**A101**

**GENERAL NOTES:**

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE RESIDENTIAL CODE AND/OR ANY APPLICABLE COUNTY OR LOCAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. OWNER/CONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:
 

ROOF (L.L.)	33 PSF
ROOF (L.L. + D.L.) (SHAKE/COMP)	48 PSF
ROOF (L.L. + D.L.)	48 PSF
FLOOR (L.L. + D.L.)	80 PSF
STAIRS (L.L. + D.L.)	100 PSF
GARAGE FLOOR (L.L.) (2,000# POINT)	50 PSF
DECKS (L.L. + D.L.)	50 PSF
BALCONIES (EXT.) (L.L. + D.L.)	70 PSF
ATTIC STORAGE (C.G. ±) (L.L. + D.L.)	30 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

- THIS PLAN IS DESIGNED TO MEET 2020 NYS RESIDENTIAL ENERGY CODE UNDER PRESCRIPTIVE ENVELOPE REQUIREMENTS FOR RESIDENTIAL BLDGS. IN ADDITION TO PRESCRIPTIVE ENVELOPE REQUIREMENTS, AN ADDITIONAL MEASURE MUST BE SELECTED. SEE ADDITIONAL MEASURE BELOW.

PRESCRIPTIVE ENVELOPE REQUIREMENTS	
INSULATION:	
ROOF (VAULTED CEILING)	R-49
ROOF (FLAT CEILING)	R-21
EXTERIOR WALLS	R-21
INTERIOR INSULATION	R-20
WALLS BELOW GRADE	R-15
SLAB EDGES @ HEATED AREAS	R-15
FORCED AIR DUCT (AT UNHEATED AREA)	R-5
GLAZING/DOORS:	
MAXIMUM WINDOW AREA	NO LIMIT
WINDOW CLASS	U = 35
ENTRY DOOR CLASS (MAX. 28 SQ. FT.)	U = 54
FULL LIGHT GLASS DOOR CLASS	U = 40
OTHER DOORS (EXC. MAX. 28 SQ. FT.)	U = 20
SKYLIGHT CLASS (MAX. 2% OF HEATED SPACE)	U = 60

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450, WHEN TESTED IN ACCORDANCE WITH ASTM E 84, AND CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATTS PER SQUARE CENTIMETER.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWLSPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR, OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), AND WHOSE BOTTOM EDGE IS LESS THAN 10" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- SKYLIGHTS ARE ASSUMED TO BE PRE-MANUFACTURED UNIT SKYLIGHTS. UNIT SKYLIGHTS SHALL BE COMPLIANT WITH THE REQUIREMENTS OF U.S.S.C. SECTION INT12.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" IN. DEAD BOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10' FT. (VERTICAL) OF GRADE.

- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS, AND IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS, WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, TO BE TEMPERED GLAZING.
- BASEMENTS AND EVERY SLEEPING ROOM TO HAVE MIN. WINDOW OPENING OF 5.7 SQ. FT. WITH A MIN. WIDTH OF 20" IN. AND A SILL HGT. NOT MORE THAN 44" IN. ABOVE FIN. FLOOR.
- SMOKE DETECTORS SHALL BE INSTALLED IN EA. SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE (N.E.C.) REQUIREMENTS.
- INTERIOR & EXTERIOR STAIRS SHALL HAVE A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS & TREADS. INTERIOR STAIRS OF 6 STEPS OR MORE SHALL HAVE THE REQUIRED LIGHTING IN THE IMMEDIATE VICINITY OF THE TOP & BOTTOM OF THE STAIRS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF STAIR. EXTERIOR STAIRS LEADING FROM GRADE TO BASEMENT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF STAIRS. LIGHTING FOR INTERIOR STAIRS SHALL BE CONTROLLED FROM TOP & BOTTOM OF EA. STAIR.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MIN. 80 cfm INTERMITTENT, ROOMS W/ BATHING OR SPA FACILITIES SHALL BE CONTROLLED BY A CEHOMISTAT, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER & RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.

- SPECIFIC MANUFACTURERS AND MATERIALS DEPicted ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- PROVIDE WHOLE HOUSE MECHANICAL VENTILATION PER TABLE M1507.3.3(1)

- SMOKE DETECTORS SHALL BE INSTALLED IN EA. SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE (N.E.C.) REQUIREMENTS.
- INTERIOR & EXTERIOR STAIRS SHALL HAVE A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS & TREADS. INTERIOR STAIRS OF 6 STEPS OR MORE SHALL HAVE THE REQUIRED LIGHTING IN THE IMMEDIATE VICINITY OF THE TOP & BOTTOM OF THE STAIRS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF STAIR. EXTERIOR STAIRS LEADING FROM GRADE TO BASEMENT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF STAIRS. LIGHTING FOR INTERIOR STAIRS SHALL BE CONTROLLED FROM TOP & BOTTOM OF EA. STAIR.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MIN. 80 cfm INTERMITTENT, ROOMS W/ BATHING OR SPA FACILITIES SHALL BE CONTROLLED BY A CEHOMISTAT, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER & RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPicted ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- PROVIDE WHOLE HOUSE MECHANICAL VENTILATION PER TABLE M1507.3.3(1)

**FRAMING NOTES:**

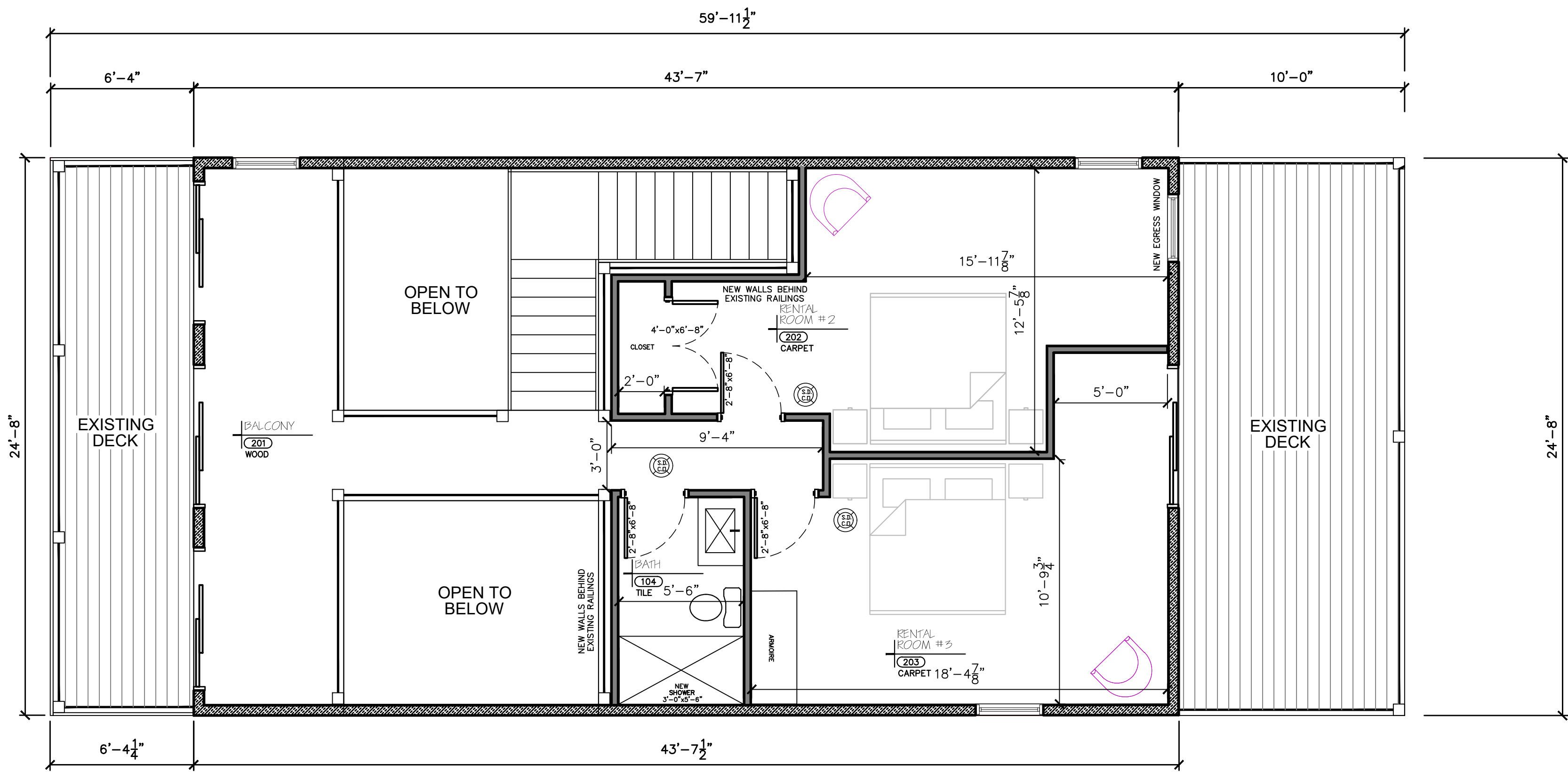
- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE (2) 2 X 10 HEADERS UNLESS OTHERWISE INDICATED.
- ALL EXTERIOR WALLS TO BE BUILT OF 2 X 6 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE TO BE BUILT OF 2 X 4 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SUPPORTING TWO OR MORE FLOORS AND 1 OR MORE ROOF/CEILING ASSEMBLIES SHALL BE 2 X 6 STUDS @ 16" O.C.
- ALL METAL CONNECTORS TO BE "SIMPSON" OR EQUIVALENT. U.N.D. JOISTS HUNG ON FLUSH BEAMS TO BE ATTACHED WITH U210 OR EQUIVALENT. MULTIPLE JOISTS USE U210-U210-3 AS REQUIRED. USE OF 104 X 1-1/2" NAILS ARE ALLOWED WITH THESE TYPE OF HANGERS UNLESS NOTED ON THE PLANS. SEE NAIL CONVERSION CHART FROM CURRENT SIMPSON CATALOG FOR OTHER NOTES AND RESTRICTIONS THAT MAY APPLY.
- PROVIDE MIN DOUBLE JOISTS UNDER ALL BEARING WALLS ABOVE, RUNNING PARALLEL TO JOISTS AND SOLID BLOCKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS.
- PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED C/G AREAS. AND INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS. RAFTER VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE THE PLATE.
- PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER NYS RESIDENTIAL CODE
- HIPS, VALLEY'S AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END OUT OF THE RAFTER.
- UNLESS NOTED OTHERWISE, POST TO BEAM CONNECTIONS REQUIRE "SIMPSON" BG SERIES CAP/BASE (OR APPROVED EQVA.) CONNECTORS. EXTERIOR APPLICATIONS REQUIRE "SIMPSON" EPB SERIES BASES U.N.D. AND EXTERIOR GARAGE POSTS REQUIRE "SIMPSON" CB SERIES BASES.

LUMBER SPECIES:	
A. POSTS, BEAMS, HEADERS	NO. 2 DOUGLAS FIR
B. JOISTS AND RAFTERS	NO. 2 DOUGLAS FIR
C. SILLS, PLATES, BLOCKING	NO. 3 DOUGLAS FIR
D. BRIDGING ETC.	STUD GRADE S.P.F.
E. STUDS	NO. 2 OR BETTER D.F.
F. POSTS & BEAM DECOR.	UTILITY GRADE D.F.
G. PLYWOOD SHEATHING	CDX PLY. 32/16
H. CLT-LAM BEAMS	F=2400, DRY ADH.
I. (EXT. ADH @ EXT. CONDITIONS)	
J. H.P.S.L. MATERIALS *	Fb = 2900 E = 2.0 Fv = 290
K. L.V. MATERIALS **	Fb = 2600 E = 1.9 Fv = 285

\* P.S.L. INDICATES PARALLEL STRAND LUMBER  
\*\* L.V. INDICATES LAMINATED VENEER LUMBER  
I. METAL HANGERS & FASTENERS USED WITH P.T. LUMBER TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

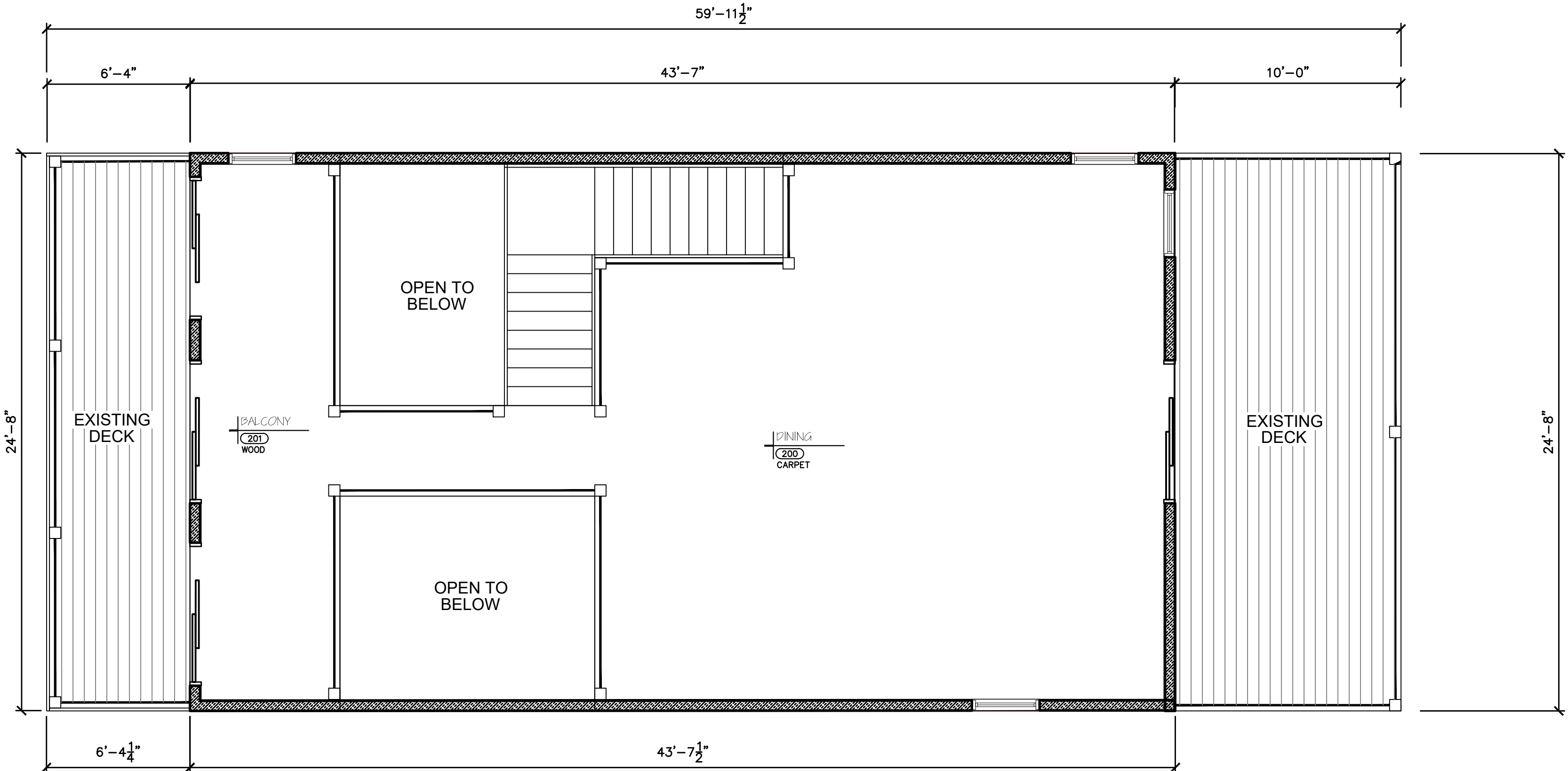
10. NAILING SCHEDULE:	
FAST TO SILE OR ORDER	3-8d TOE NAIL
BRIDGING TO JOIST	3-8d TOE NAIL
2" SUBFLOOR TO GROSSER	2-16d BLIND & FACE
SOLE PL. TO JOIST	16d @ 16" O.C. FACE NAIL
TOP PL. TO STUDS	2-16d END NAIL
STUD TO SILE PL.	3-8d OR 2-16d TOE NAIL
DOUBLE STUDS	10d @ 24" O.C. FACE NAIL
DOUBLE TOP PL.	10d @ 24" O.C. FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16" O.C. EDGE NAIL
C/G. JST. TO PL.	3-8d TOE NAIL
C/G. JST. LAP OVER PL.	3-10d FACE NAIL
RAFTER TO TOP PL.	2-16d TOE NAIL
BUILT-UP CORNER STUDS	10d @ 24" O.C. FACE NAIL
PLYWOOD SUBFLOOR	6d @ 8" O.C. EDGE NAIL
SOLID BLOCKING @ BEARING	6d @ 12" O.C. FIELD NAIL
PLY WALL & ROOF SHEATHING	3-8d TOE NAIL
STAPLED ROOF SHEATHING	8d @ 6" O.C. EDGE NAIL
PLYWOOD SHEATHING	8d @ 12" O.C. FIELD NAIL
TOP PL. AT INTERSECTIONS	2-10d FACE NAIL
MULTIPLE JOISTS (UP TO 3)	16d @ 15" SPACED/STAGGERED
MULTIPLE JOISTS (OVER 3)	16d @ 15" SPACED/STAGGERED
1" X 8" SPACED SHEATHING	4-16d TOE NAIL
RAFTERS TO HIPS, VALLEY	3-16d FACE NAIL
RAFTERS LEDGERS	3-20d EACH STUD

SPAN TABLES	
NO. 2 D.F. MEMBER	NO. 2 D.F. MEMBER
2 X 6	2 X 6
2 X 8	2 X 8
2 X 10	2 X 10
2 X 12	2 X 12



**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"  
FIRST FLOOR AREA=803 SF



**EXISTING SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"  
FIRST FLOOR AREA=803 SF

**AARON B. TILLER**  
COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES

5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

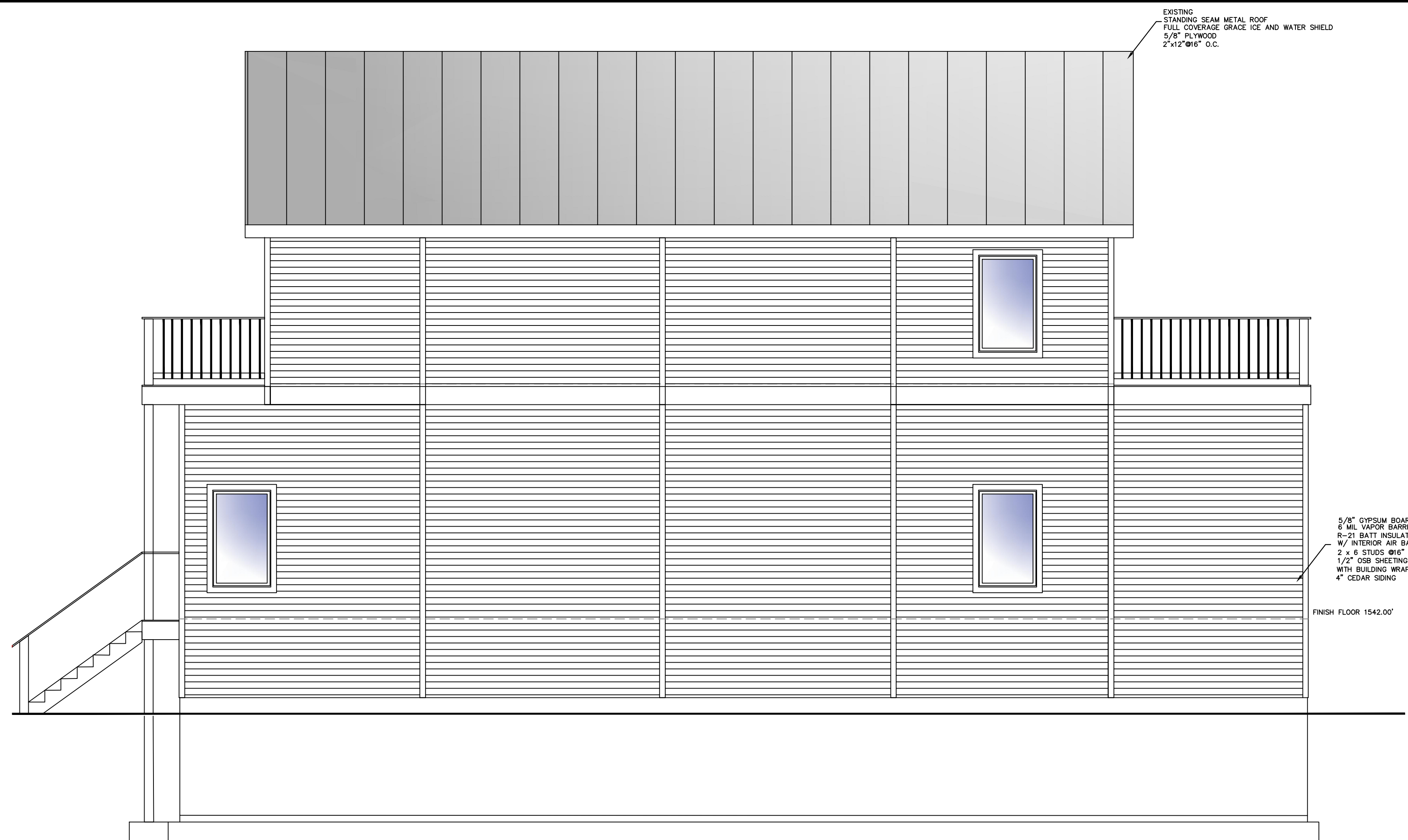
**SECOND FLOOR PLAN**

**DOCUMENT STATUS**

- DATE: 12-08-2023
- NOT FOR CONSTRUCTION
- PROGRESS SET
- PRELIMINARY
- FINAL
- ISSUED BY: ABT

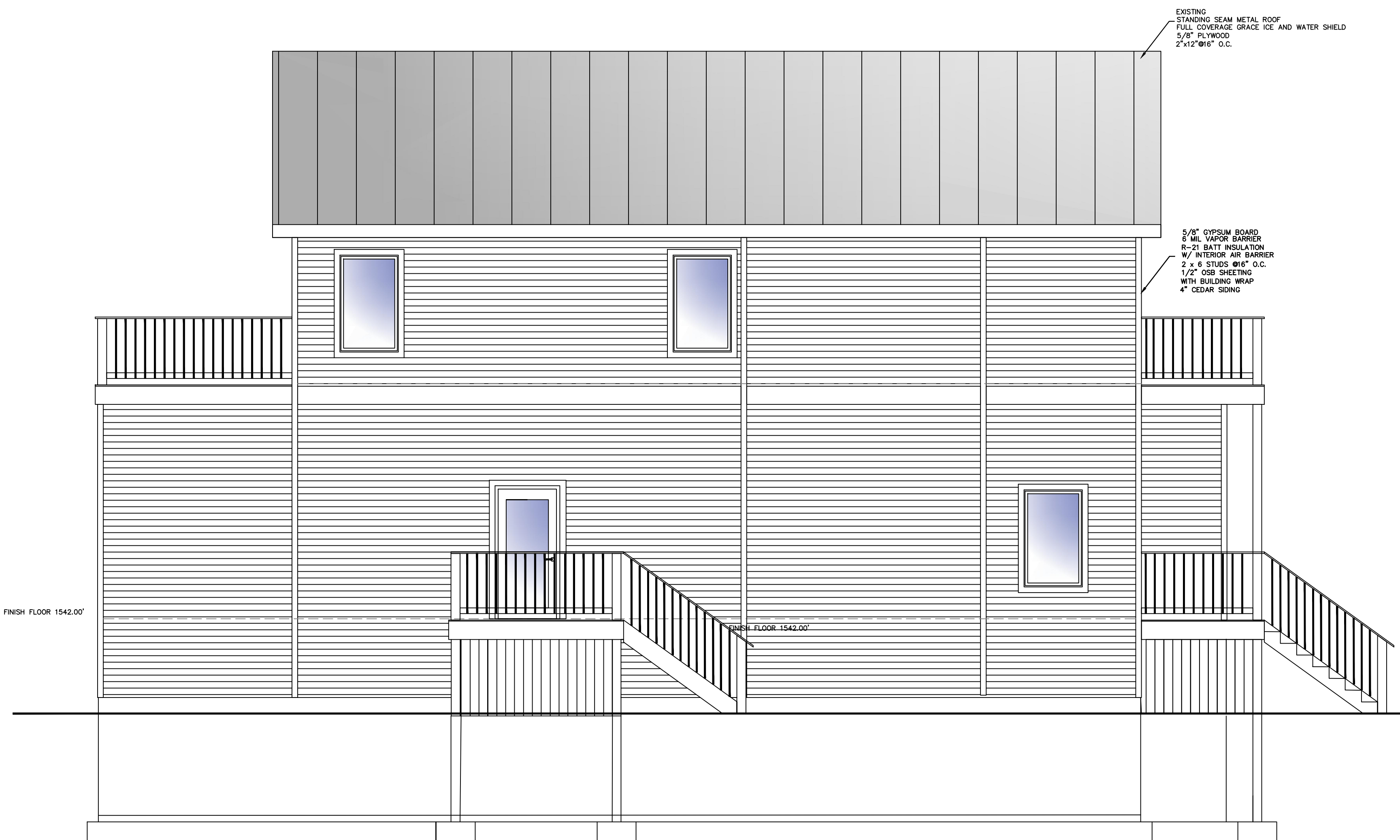
RESIDENTIAL DESIGN FOR  
**KREINHEDER PROPERTIES, LLC**  
37 WASHINGTON STREET  
ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE: 12-08-2023	REVIEWED BY:
DRAWING NO: <b>A102</b>	



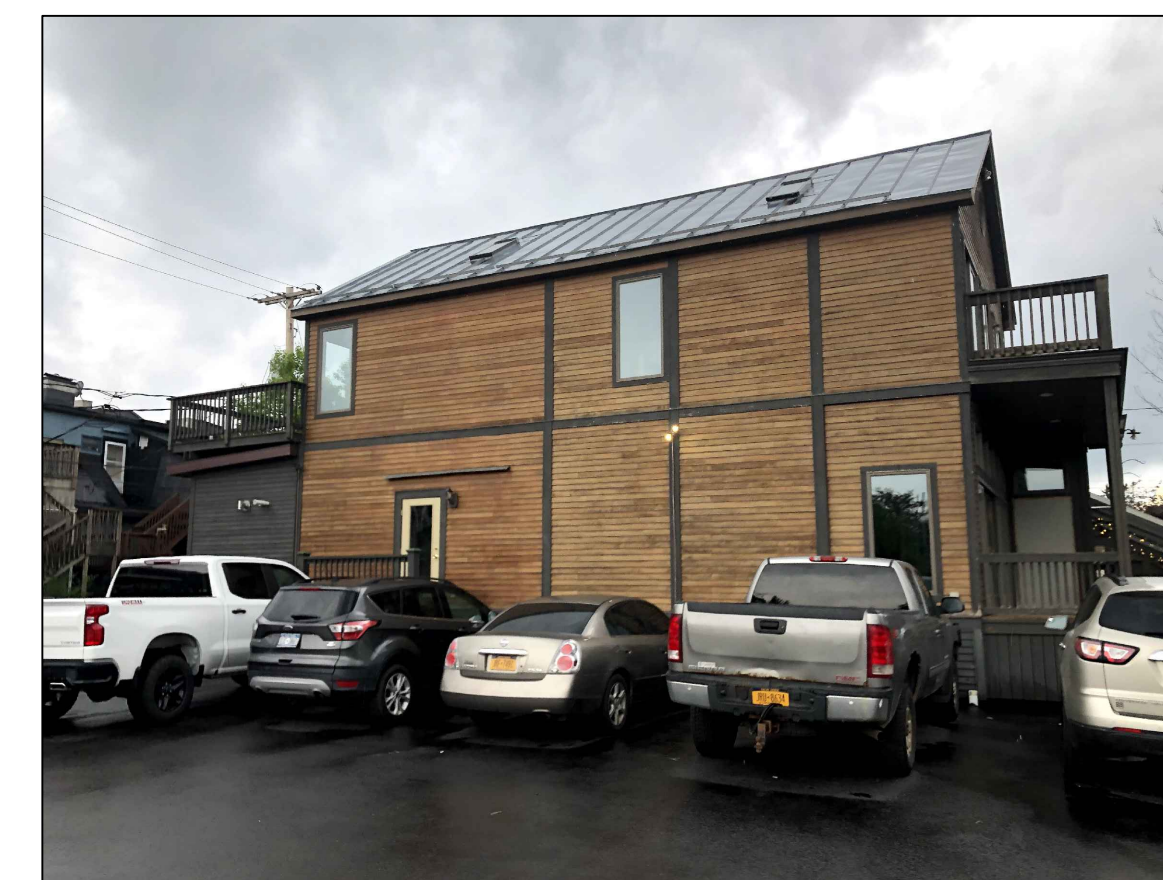
**NORTH ELEVATION**

SCALE: 1/4"=1'-0"



**SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



**AARON B. TILLER**

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES

5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

**ELEVATIONS**

**DOCUMENT STATUS**

DATE: 12-08-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

RESIDENTIAL DESIGN  
FOR  
**KREINHEDER  
PROPERTIES, LLC**

37 WASHINGTON STREET  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:

DRAWN BY:

DATE:

12-08-2023

REVIEWED BY:

DRAWING NO:

**A201**

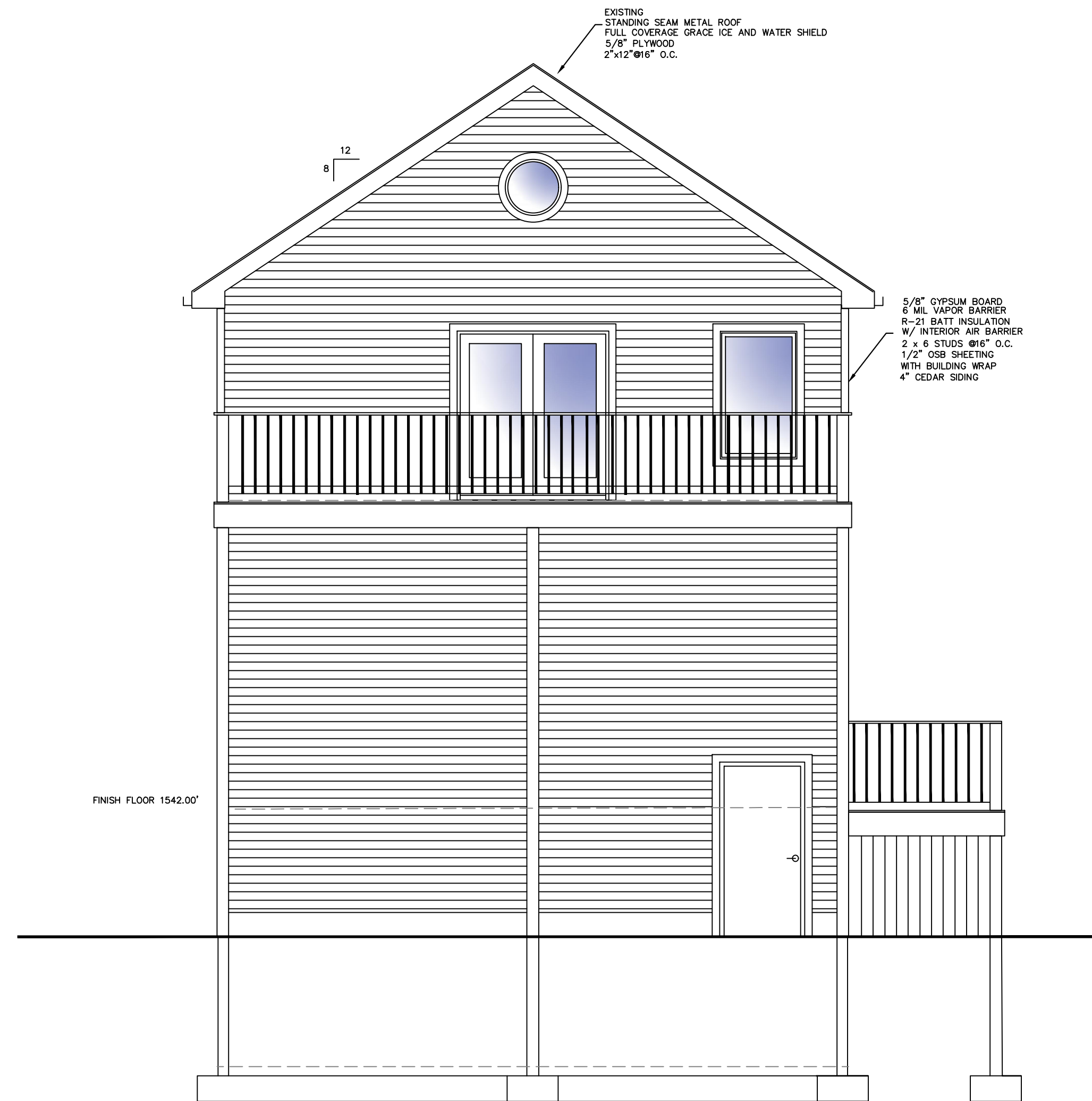
**AARON B. TILLER**

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES

5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

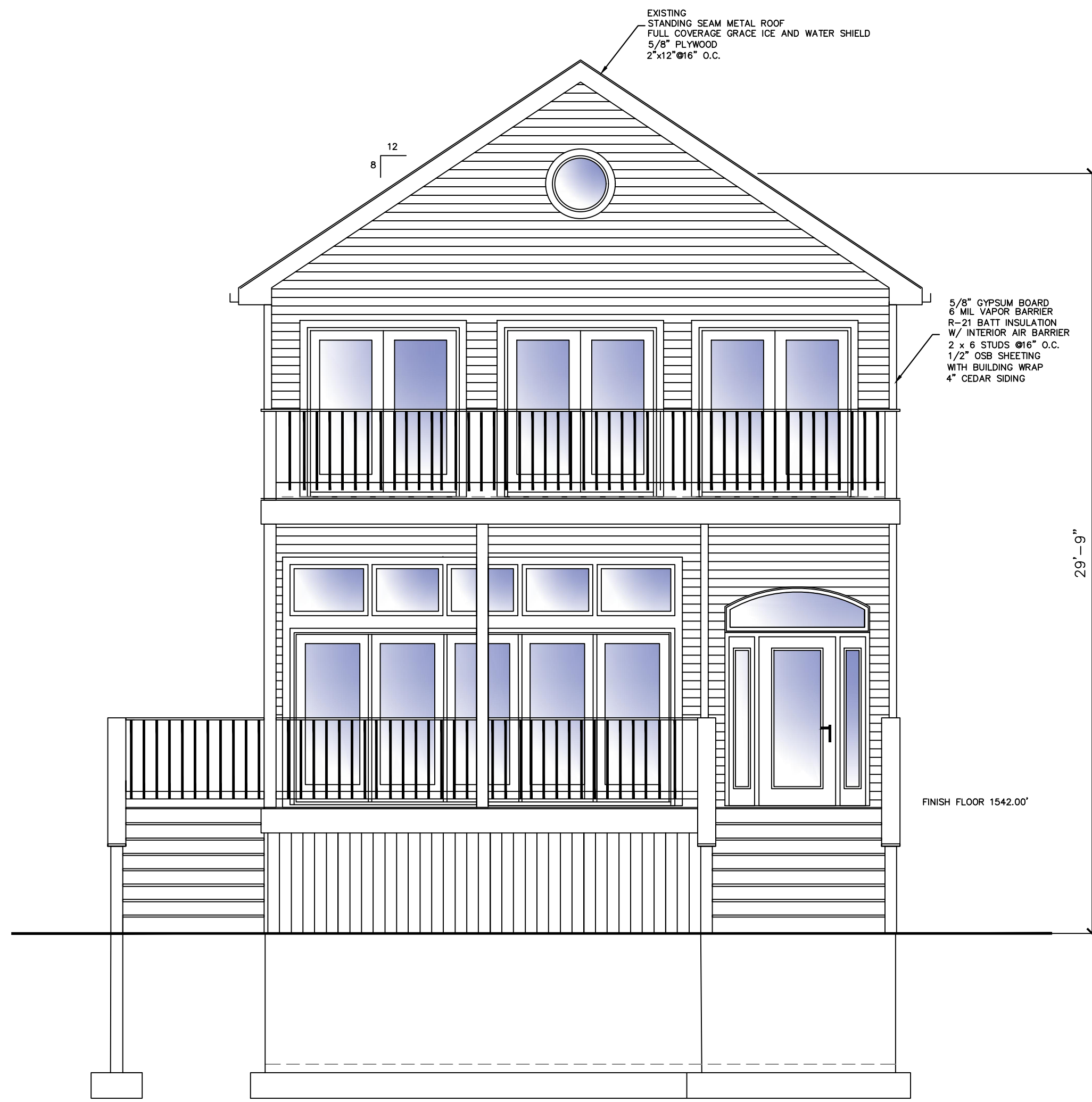


**ELEVATIONS**



**WEST  
ELEVATION**

SCALE: 1/4"=1'-0"



**EAST  
ELEVATION**

SCALE: 1/4"=1'-0"

**DOCUMENT STATUS**

DATE: 12-08-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

RESIDENTIAL DESIGN  
FOR  
**KREINHEDER  
PROPERTIES, LLC**

37 WASHINGTON STREET  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:

DRAWN BY:

DATE:

12-08-2023

REVIEWED BY:

DRAWING NO:

**A202**