



**TOWN AND VILLAGE OF
ELLCOTTVILLE BUILDING & PLANNING
DEPARTMENT**



PO BOX 600, ELLICOTTVILLE, NY 14731

Planner: Greg Keyser, (716) 801-3016, E-MAIL: greg.keyser@evlengineering.com

Code Officer: Kelly Fredrickson, (716) 699-4773, E-MAIL: kelly.fredrickson@evlengineering.com

COMBINED APPLICATION

Jurisdiction: TOWN VILLAGE App. # 2023-274

<input type="checkbox"/> PRE-APPLICATION CONFERENCE	<input checked="" type="checkbox"/> SPECIAL USE PERMIT
<input type="checkbox"/> INTENT TO SUBDIVIDE	<input type="checkbox"/> MASTER PLANNED DEVELOPMENT
<input type="checkbox"/> HISTORIC DISTRICT REVIEW	<input checked="" type="checkbox"/> ARCHITECTURAL DESIGN REVIEW
<input checked="" type="checkbox"/> SITE PLAN REVIEW	<input type="checkbox"/> AMENDMENT TO SITE PLAN
<input type="checkbox"/> ZONING ORDINANCE AMENDMENT	<input type="checkbox"/> ZONING MAP AMENDMENT

APPLICANT INFORMATION:

Applicant's name: RICK GRACI / JOAN GRACI Date: 8/14/23

Mailing address: 7 PRUDENSE LANE, BUFFALO NY 14221

Cell Phone Number: 716-481-1789 E-Mail: rlick712prestige@gmail.com

Applicant must be (check all that apply): Owner Operator Lessee

Applicant's Engineer or representative: JON ZGWICZYNSKI

Address: 91 NORTH FOREST WILLIAMSVILLE NY 14221

Phone #: 716-635-6544 E-Mail: JRZDESIGN@aol.com

PROPERTY OWNER INFORMATION (if different than Applicant)

Name: JOAN GRACI

Mailing Address: _____

Cell Phone Number: 716 830-0983 E-Mail: joan@apa.solutions.com

PROPERTY / FACILITY NAME

GRACI RESIDENCE

Address: 41-49 MILL ST

Property tax map #: 55.044-1-4-1

Current use of property:

OPEN VACANT LAND

Description of Proposed Project/Use (attach additional pages, survey and plans):

RESIDENTIAL / Duplex (2 Dwellings)

Zoning Requirements from Town/Village Zoning Law

Front yard setback: 35' Rear yard setback: 25'
 Side yard setback: 15' Combined side: 30'
 Minimum lot size: 12,500 Width: @ SET BACK
 Height: 2.5 STORIES Floor area ratio: _____ (Village)
 Usable Open space: 80%

Site Information

Size of site: 32364 Sq. Ft. Size of area to be developed: 10,000 Sq. Ft.

Number of proposed lots: 1

Proposed method of Sanitary Sewage disposal: Public Sewer

Proposed method of Water Supply: Public Sewer

If public utilities are proposed, are they available to site?

Sanitary Sewer: Yes No Water: Yes No

Will the project require the formation or extension of a Water and/or Sanitary Sewer District?

Sanitary Sewer: Yes No Water: Yes No

Main Structure:

Construction type: WOOD FRAMED Front yard setback: 40.1' feet
 Height: 27'-5" stories, (2) feet Side yard setback: 15.4' / 10.3' feet
 # of family units: _____ Total of both side yard setbacks: 31.7' feet
 Size of lot: 32,364 Sq. Ft. Rear yard setback: 112.6' feet
 Usable Open Space: _____ % Floor area ratio: _____ (village)
 Corner or interior lot? INTERIOR Other: _____

Accessory Building:

Description:

Percentage of yard: _____ Height: _____ feet
 Setback from rear lot line: _____ feet Setback from side lot line: _____ feet

Floodplain:

FIRM Zone _____ BFE _____

Flood Plain Development Permit Required? YES NO

ATTACHMENTS

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

SIGNATURES

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: *Richard Graci* Date: 8/16/23

Applicant must be (check all that apply): Owner Operator Lessee

Applicant Name: ^{Print} RICHARD GRACI

Property Owner's Signature (if different than applicant) *Joan Graci* Date: 8/16/23

Property Owner's Name: ^{Print} Joan Graci

Office use only:

Application Fee(s) \$650

Received by: *[Signature]* on 8/14/23 (Date)

Project Number(s): _____



Property Description Report For: 41 Mill St, Municipality of V. Ellicottville

No Photo Available

Total Acreage/Size:	16.6 x 568	Status:	Active
Land Assessment:	2023 - \$48,000	Roll Section:	Taxable
Full Market Value:	2023 - \$73,846	Swis:	043601
Equalization Rate:	----	Tax Map ID #:	55.044-1-4.3
Deed Book:	20222	Property Class:	311 - Res vac land
Grid East:	1126270	Site:	RES 1
		In Ag. District:	No
		Site Property Class:	311 - Res vac land
		Zoning Code:	02
		Neighborhood Code:	36100 - Vil-South East
		School District:	Ellicottville
		Total Assessment:	2023 - \$48,000
		Property Desc:	
		Deed Page:	5224
		Grid North:	827807

Area

Living Area:	0 sq. ft.	First Story Area:	0 sq. ft.
Second Story Area:	0 sq. ft.	Half Story Area:	0 sq. ft.
Additional Story Area:	0 sq. ft.	3/4 Story Area:	0 sq. ft.
Finished Basement:	0 sq. ft.	Number of Stories:	0
Finished Rec Room	0 sq. ft.	Finished Area Over Garage	0 sq. ft.

Structure

Building Style:	0	Bathrooms (Full - Half):	0 - 0
Bedrooms:	0	Kitchens:	0
Fireplaces:	0	Basement Type:	0
Porch Type:	0	Porch Area:	0.00
Basement Garage Cap:	0	Attached Garage Cap:	0.00 sq. ft.
Overall Condition:	0	Overall Grade:	
Year Built:		Eff Year Built:	

Owners

Joan M Graci
7 Promise Ln
Bufalo NY 14221

Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Addl. Parcels	Deed Book and Page
12/1/2022	\$74,000	220 - 2 Family Res	Land & Building	7439 Properties LLC	Yes	Yes	No	20222/5224

Utilities

Sewer Type:	Comm/public	Water Supply:	Comm/public
Utilities:	Gas & elec	Heat Type:	0
Fuel Type:	0	Central Air:	No

Improvements

Structure	Size	Grade	Condition	Year
-----------	------	-------	-----------	------

Special Districts for 2023

Description	Units	Percent	Type	Value
FD360-Ellicottville fire	0	0%		0
WB360-Water benefit	0	0%		0
WD361-Water 1	0	0%		0

Taxes

Year	Description	Amount
------	-------------	--------

*** Taxes reflect exemptions, but may not include recent changes in assessment.**

GRACI RESIDENCE 2024 NEW HOME

MILL STREET
ELLCOTTVILLE, NEW YORK 14731



LOCATION

CARL R.
CALARCO, P.E.
NYS LIC # 088460
P.O. BOX 693
ELLCOTTVILLE, NEW YORK 14731
716-244-8313
CRCALARCO@VERIZON.NET

NEW
COVER SHEET

AARON B.
TILLER
COMMERCIAL, INDUSTRIAL, RESIDENTIAL
CAD SERVICES
5 PINE STREET
ALLEGANY, NEW YORK 14706
716-307-3684
AARONTILLER@GMAIL.COM

LEGEND

MATERIAL DESIGNATIONS:	
ELEVATION	
CONCRETE/PLASTER	RUNNING BOND MASONRY
CERAMIC TILE	STACK BOND MASONRY
GLAZING	STONE
BRICK	
PLAN/SECTION	
EARTH FILL	WOOD BLOCKING
ROCK	FINISHED WOOD
GRANULAR FILL	PLYWOOD - LARGE SCALE
LIGHTWEIGHT CONCRETE	PLYWOOD - SMALL SCALE
STRUCTURAL CONCRETE	METAL - LARGE SCALE
BRICK	METAL - SMALL SCALE
CONCRETE BLOCK	SHEATHING
CUT STONE	GYP. BD./PLASTER BD.
TILE ON CONCRETE	ACOUSTICAL CEILING TILE
MARBLE	CARPET
TERRAZZO	METAL STUDS
CERAMIC/QUARRY TILE	LOOSE FILL/BATT INSULATION
BOARD/RIGID INSULATION	

ARCHITECTURAL SYMBOLS

SECTION: SECTION LETTER SHEET NUMBER	EXTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
DETAIL: DETAIL NUMBER SHEET NUMBER	INTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
DOOR NUMBER	ROOM NUMBER
WINDOW TYPE	ELEVATION TAG
COLUMN GRID	SPOT ELEVATION
CENTER LINE	REVISION
EXISTING CONTOUR LINE	PROPERTY LINE
NEW CONTOUR LINE	NORTH DESIGNATION
GRAPHIC SCALE	FIRE EXTINGUISHER
ROOF SLOPE INDICATION	EMERGENCY LIGHT WALL MOUNTED
BRACING	CARBON MONOXIDE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT.
EXIT LIGHT GRILLE	SMOKE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT. AND IN ADDITION TO THESE SHOWN ATLEAST ONE IS REQUIRED ON EVERY FLOOR.
MECHANICAL VENTILATION REQUIRED.	

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
CS	COVER SHEET
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A301	CROSS SECTION
A302	CROSS SECTION
S101	FOUNDATION PLAN

DOCUMENT STATUS

DATE: 12-19-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

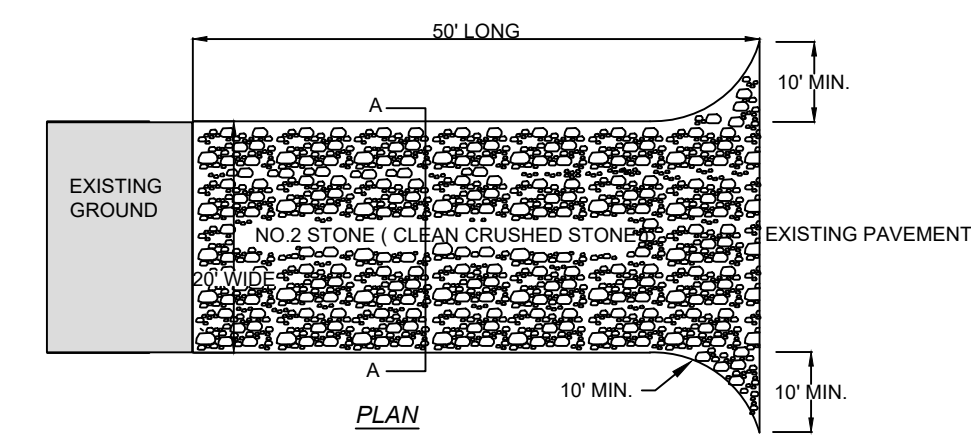
RESIDENTIAL DESIGN
FOR
**GRACI
RESIDENCE**
MILL STREET
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:
ABT

DATE: 12-19-2023 REVIEWED BY:

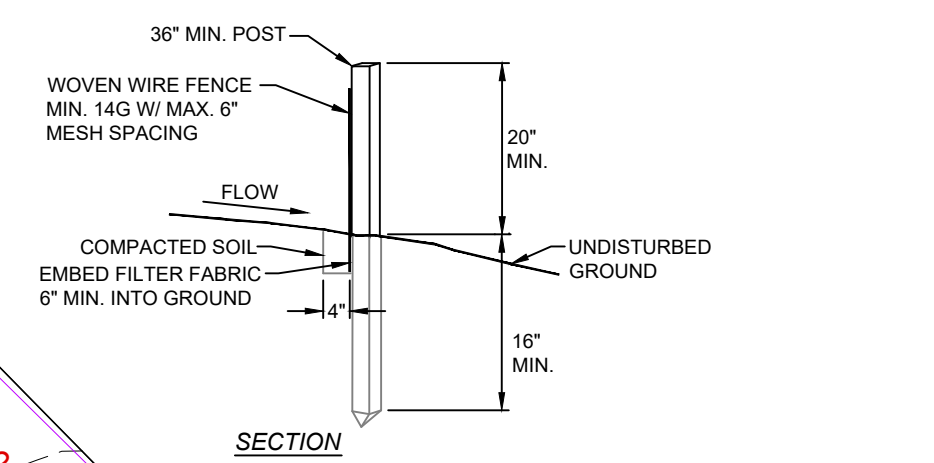
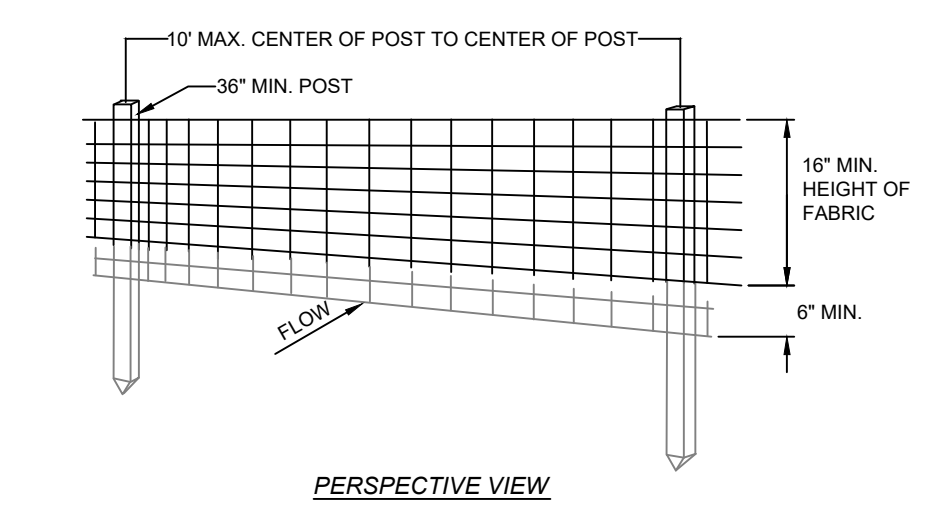
DRAWING NO:
CS

CARL R. CALARCO, P.E.
 NYS LIC # 088460
 P.O. BOX 693
 ELLICOTTVILLE, NEW YORK 14731
 716-244-8313
 CRALARCO@VERIZON.NET



- NOTES:
1. STONE SIZE NO.2 (CLEAN CRUSHED STONE)
 2. PLACE FILTER FABRIC OVER ENTIRE AREA PRIOR TO PLACING STONE.
 3. ALL SURFACE WATER FLOWING TOWARD CONSTRUCTION ENTRANCE TO BE PIPED ACROSS THE ENTRANCE.
 4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W. SHALL BE REMOVED IMMEDIATELY.
 5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



SILT FENCE DETAIL
N.T.S.
BY SITEWORK CONTRACTOR SW#6

PROPOSED SITE PLAN

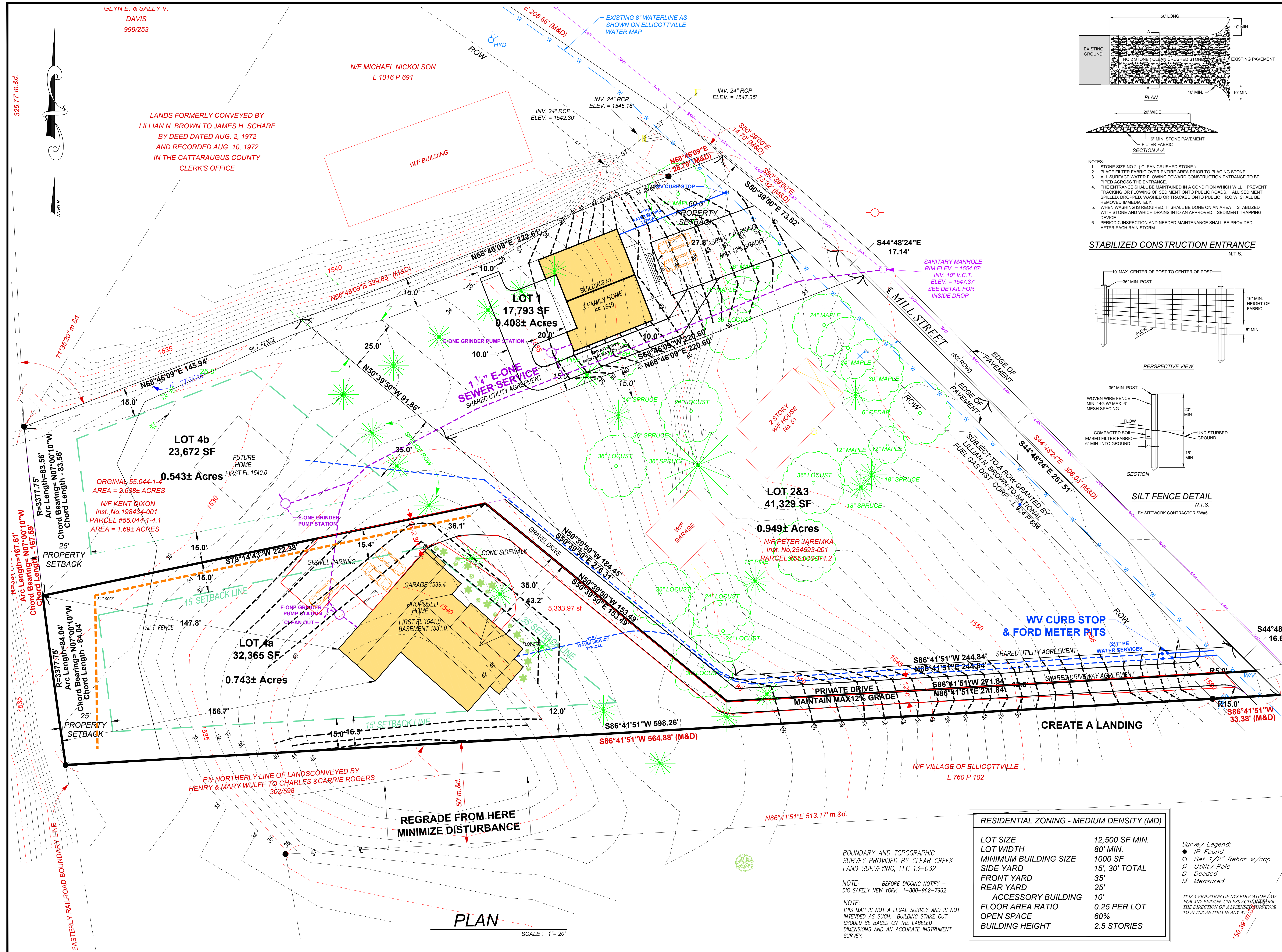
AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL
 CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN FOR
GRACI RESIDENCE
 MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:

12-19-2023 REVIEWED BY:

DRAWING NO: **C101**



RESIDENTIAL ZONING - MEDIUM DENSITY (MD)

LOT SIZE	12,500 SF MIN.
LOT WIDTH	80' MIN.
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15', 30' TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
FLOOR AREA RATIO	0.25 PER LOT
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY CLEAR CREEK LAND SURVEYING, LLC 13-032
 NOTE: BEFORE DIGGING NOTIFY - DIG SAFELY NEW YORK 1-800-962-7962
 NOTE: THIS MAP IS NOT A LEGAL SURVEY AND IS NOT INTENDED AS SUCH. BUILDING STAKE OUT SHOULD BE BASED ON THE LABELED DIMENSIONS AND AN ACCURATE INSTRUMENT SURVEY.

Survey Legend:
 ● IP Found
 ○ Set 1/2" Rebar w/cap
 ♂ Utility Pole
 D Deeded
 M Measured

IT IS A VIOLATION OF NYS EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED SURVEYOR TO ALTER AN ITEM IN ANY WAY.

GLYN E. & SALLY V. DAVIS
 999/253
 325.77' m.&d.

LANDS FORMERLY CONVEYED BY LILLIAN N. BROWN TO JAMES H. SCHARF BY DEED DATED AUG. 2, 1972 AND RECORDED AUG. 10, 1972 IN THE CATTARAUGUS COUNTY CLERK'S OFFICE

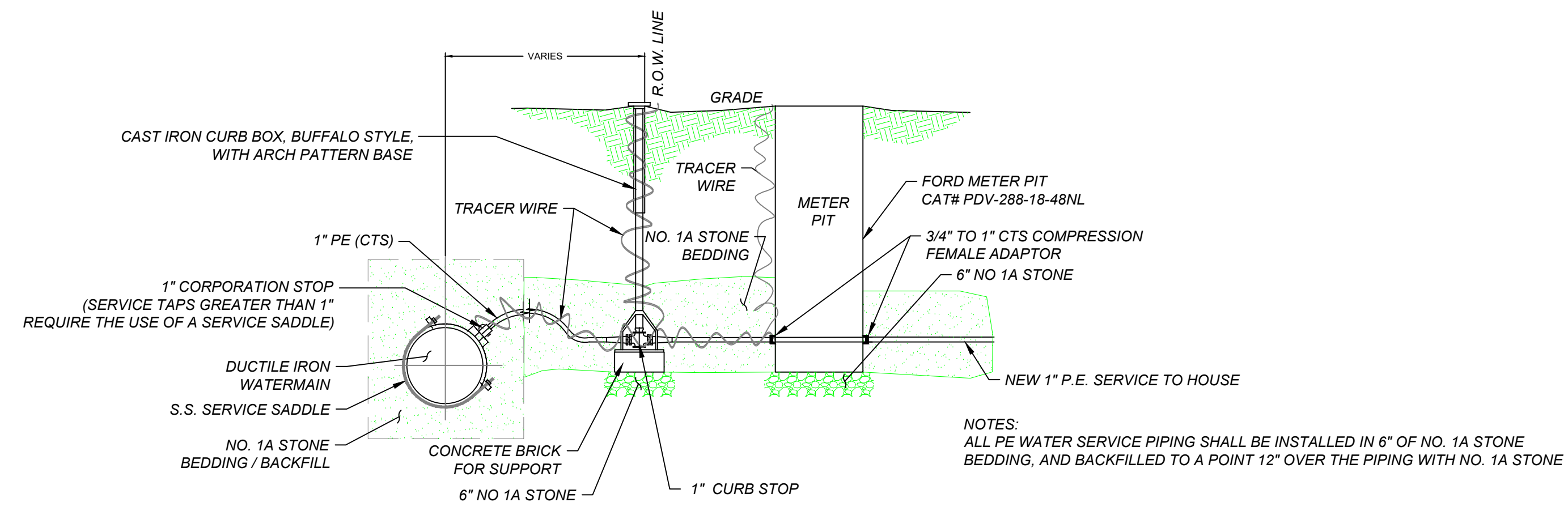
N/F MICHAEL NICKOLSON
 L 1016 P 691

N/F NORTHERLY LINE OF LANDS CONVEYED BY HENRY & MARY WULFF TO CHARLES & CARRIE ROGERS 302/598

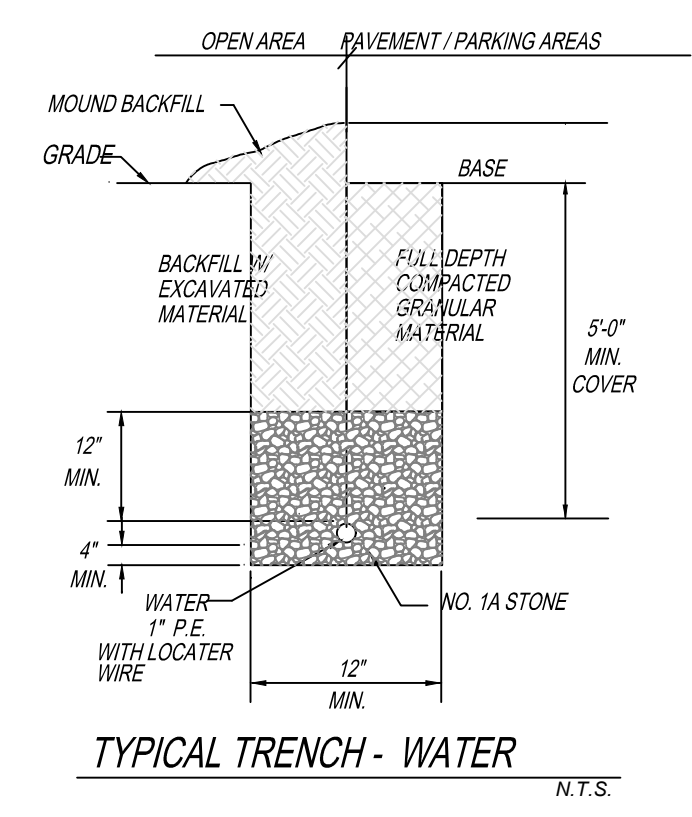
N/F VILLAGE OF ELLICOTTVILLE
 L 760 P 102

REGRADE FROM HERE MINIMIZE DISTURBANCE

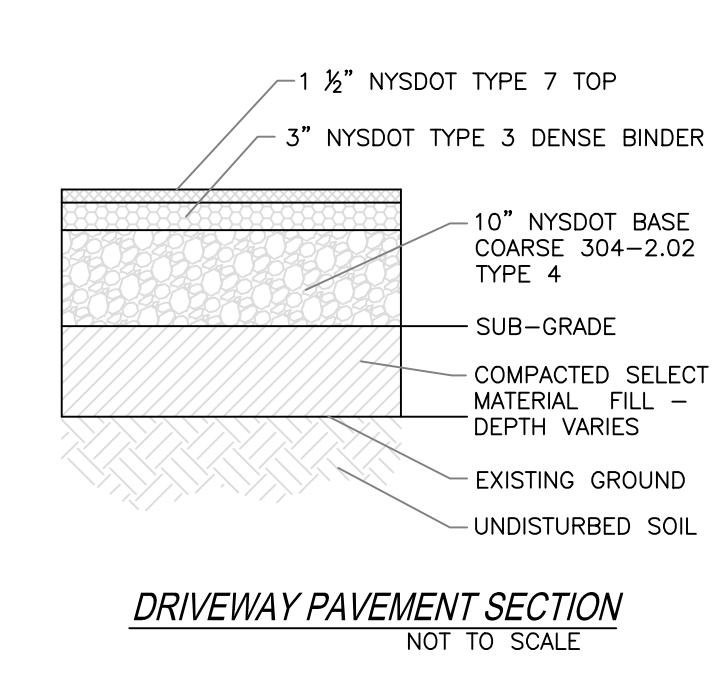
PLAN
 SCALE: 1"= 20'



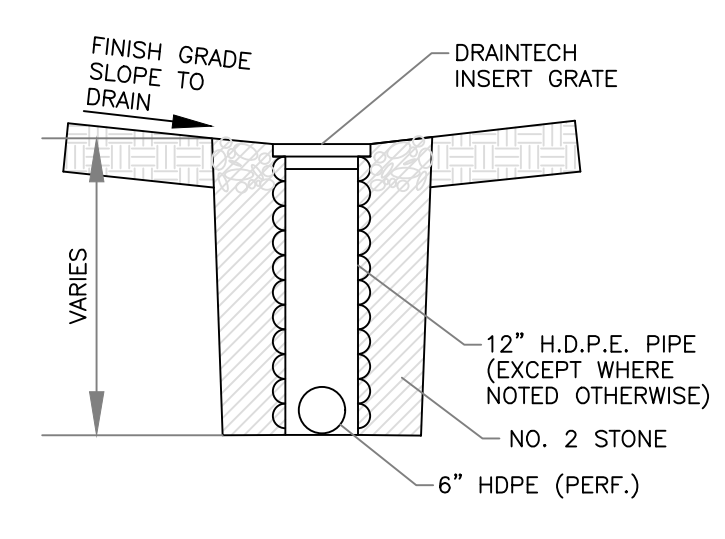
TYPICAL NEW WATER SERVICE
(D.I. WATERMAIN) N.T.S.



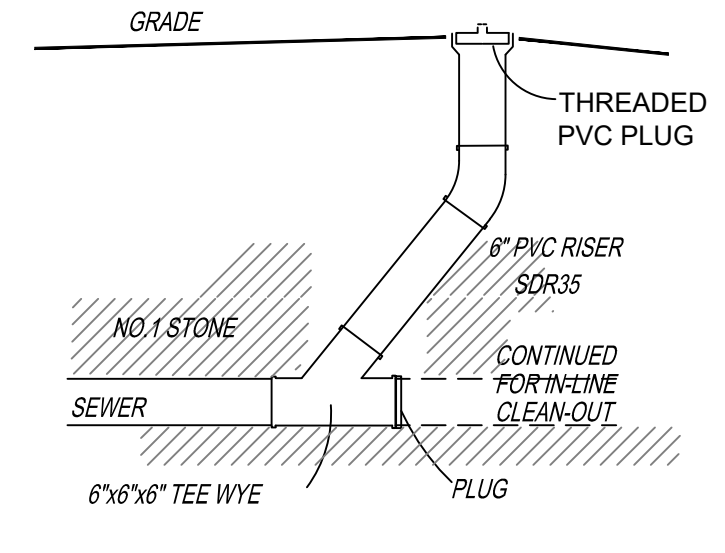
TYPICAL TRENCH - WATER
N.T.S.



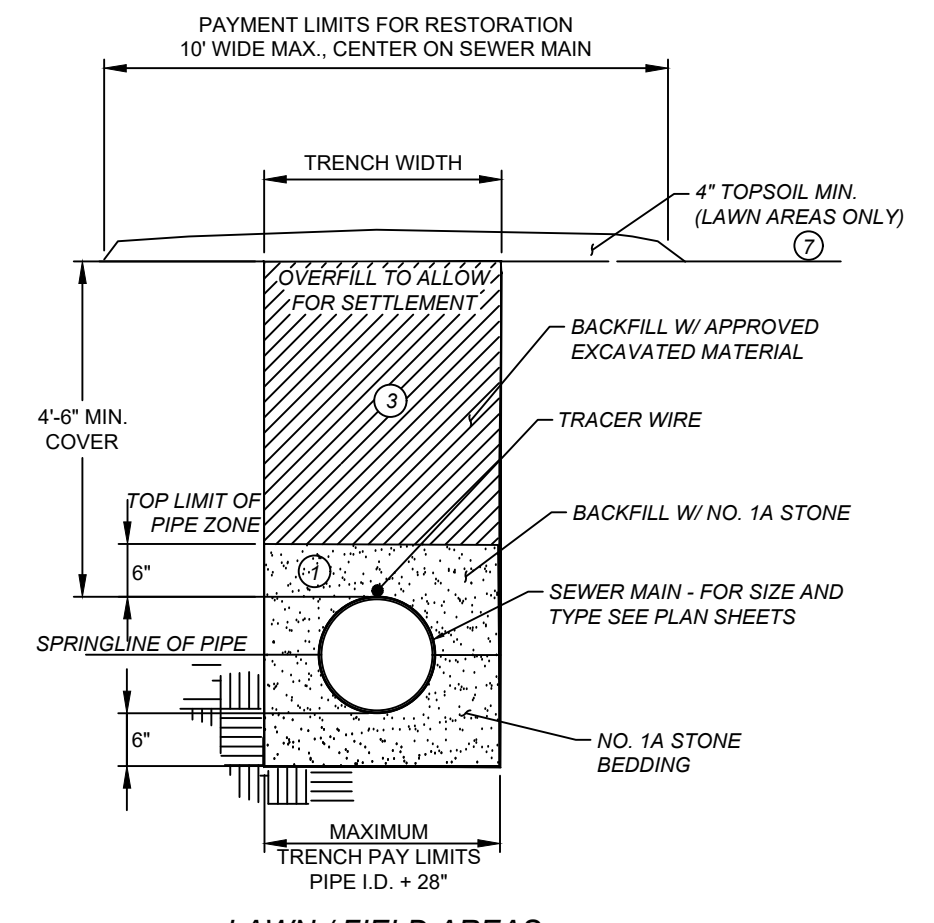
DRIVEWAY PAVEMENT SECTION
NOT TO SCALE



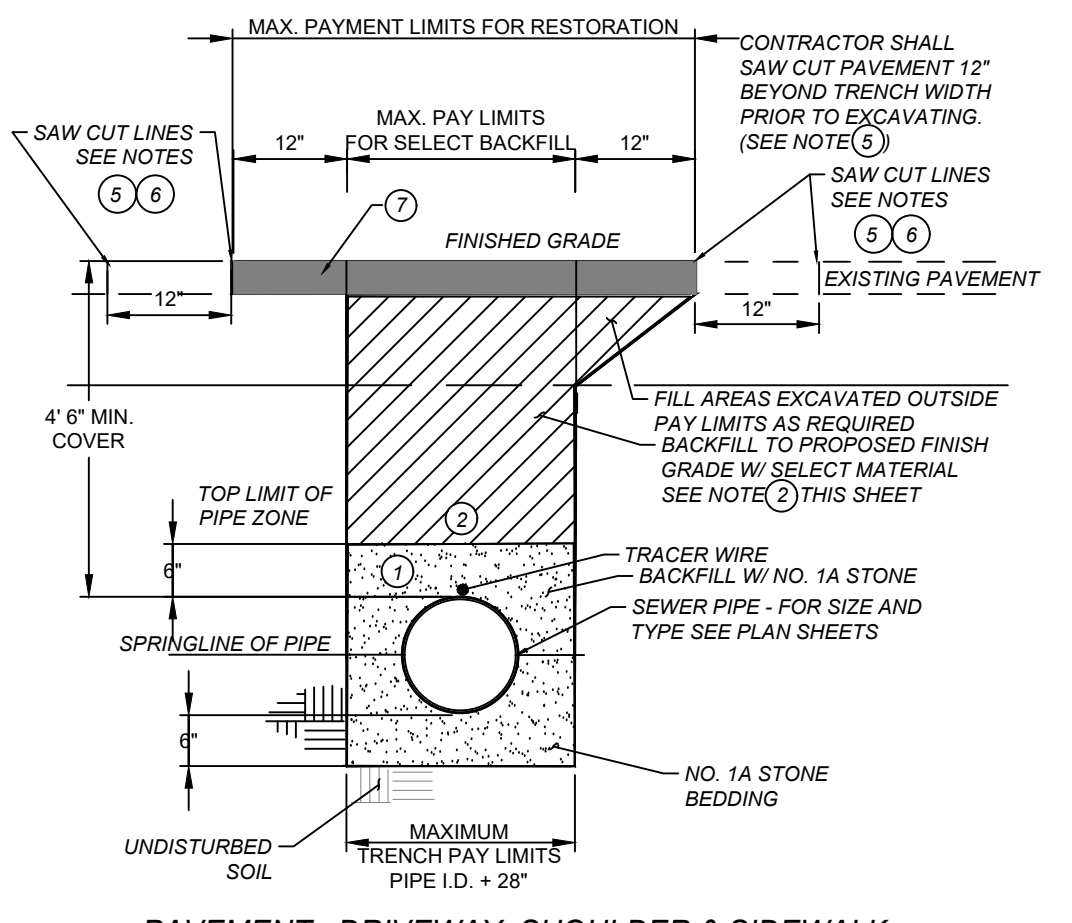
CLEAN-OUT / LAWN DRAIN
NOT TO SCALE



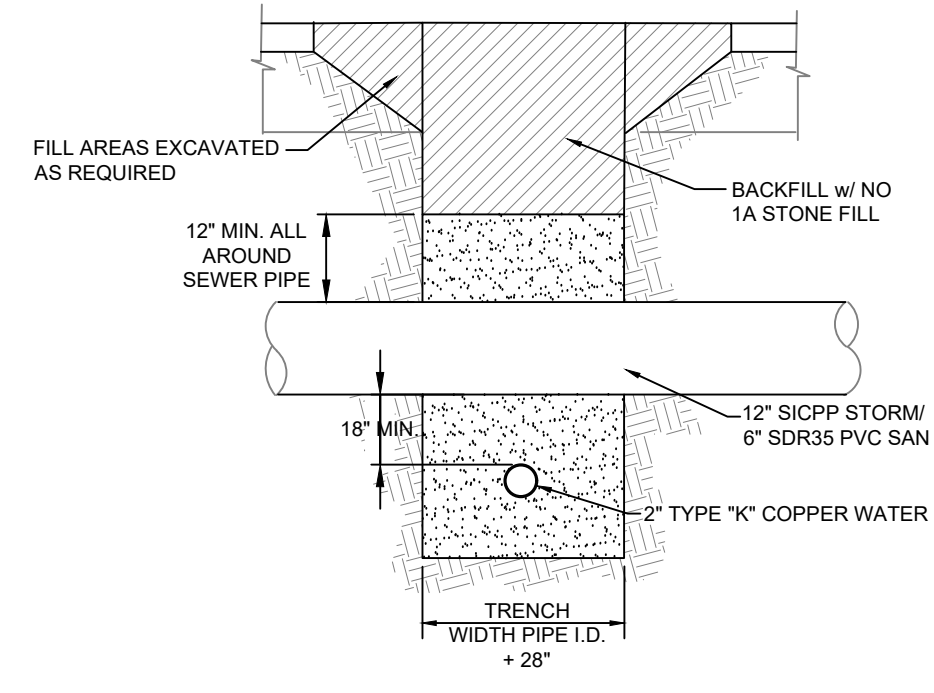
STORM CLEAN-OUT
N.T.S.



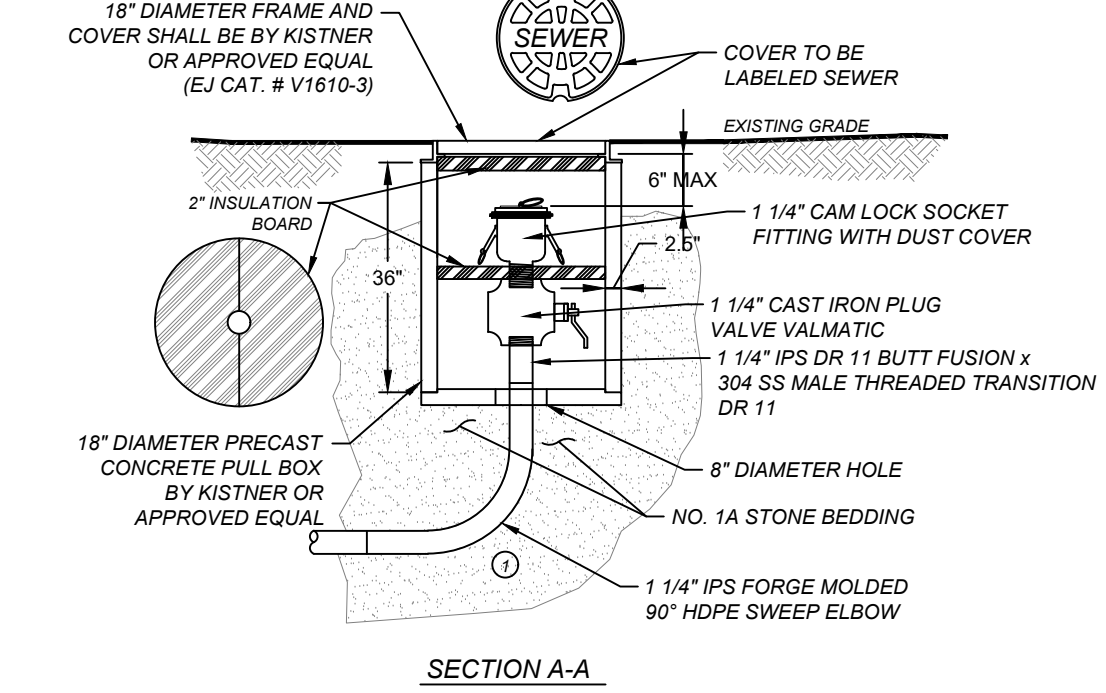
TYPICAL OPEN CUT TRENCH - SEWER
(H.D.P.E. SEWER MAIN) N.T.S.



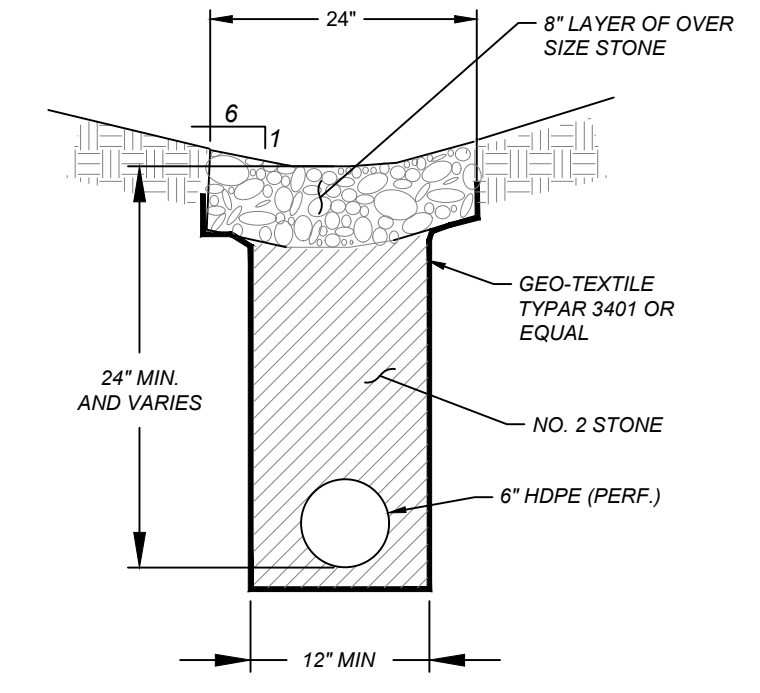
TYPICAL OPEN CUT TRENCH - SEWER
(H.D.P.E. SEWER MAIN) N.T.S.



TYPICAL SEWER / WATER CROSSING
N.T.S.



1 1/4\"/>



FRENCH DRAIN DETAIL
N.T.S.

- NOTES:**
- EACH FORCEMAIN CLEANOUT ASSEMBLY SHALL HAVE MECHANICALLY RESTRAINED JOINTS OR THRUST BLOCKING AS REQUIRED.
 - WHEN SELECT BACKFILL MATERIAL IS REQUIRED, THE PAYMENT LIMIT SHALL EXTEND TO 12" FROM THE OUTSIDE FACE OF THE CLEANOUT PULL BOX ALL THE WAY AROUND THE CLEANOUT PULL BOX.

GENERAL NOTES

PIPE BEDDING MATERIAL
NO. 1 CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH HYSDOT STANDARD SPECIFICATION 602.02 AND 703.02. THE BEDDING MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1/8 INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS AS SHOWN IN THE FOLLOWING TABLE. THE BEDDING SHALL BE COMPACTED IN 6 INCH LIFTS WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATIONS SECTION 0201 FOR BEDDING MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
1 INCH	100
12 INCH	80-90
18 INCH	91.9
NO. 200	0-1.0

NO. 1A CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH HYSDOT STANDARD SPECIFICATION 602.02 AND 703.02. THE BEDDING MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1/8 INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS AS SHOWN IN THE FOLLOWING TABLE. THE BEDDING SHALL BE COMPACTED IN 6 INCH LIFTS WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATIONS SECTION 0201 FOR BEDDING MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
12 INCH	100
18 INCH	80-90
24 INCH	91.9
NO. 200	0-1.0

SELECT MATERIAL BACKFILL
SELECT BACKFILL MATERIAL SHALL BE CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH THE HYSDOT STANDARD SPECIFICATION 304-2.02, TYPE A AND MEETING THE GRADATION REQUIREMENTS IN THE FOLLOWING TABLE. BACKFILL MATERIAL SHALL BE COMPACTED IN 6 INCH LIFTS TO 98% PROCTOR DENSITY. NO SLAB SHALL BE ALLOWED. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATIONS SECTION 0201 FOR SELECT BACKFILL MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
2 INCH	100
12 INCH	80-90
NO. 40	0-6
NO. 200	0-0.5

EXCAVATED MATERIAL BACKFILL
IF THE NATIVE EXCAVATED MATERIAL IS DEEMED TO BE SUITABLE PLACE AND COMPACT BY APPROVED MECHANICAL MEANS IN 6" LIFTS TO ACHIEVE 90% PROCTOR DENSITY. REMOVE ANY DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, AND ORGANIC MATTER WITHIN 2 FEET OF THE TOP OF PIPE.

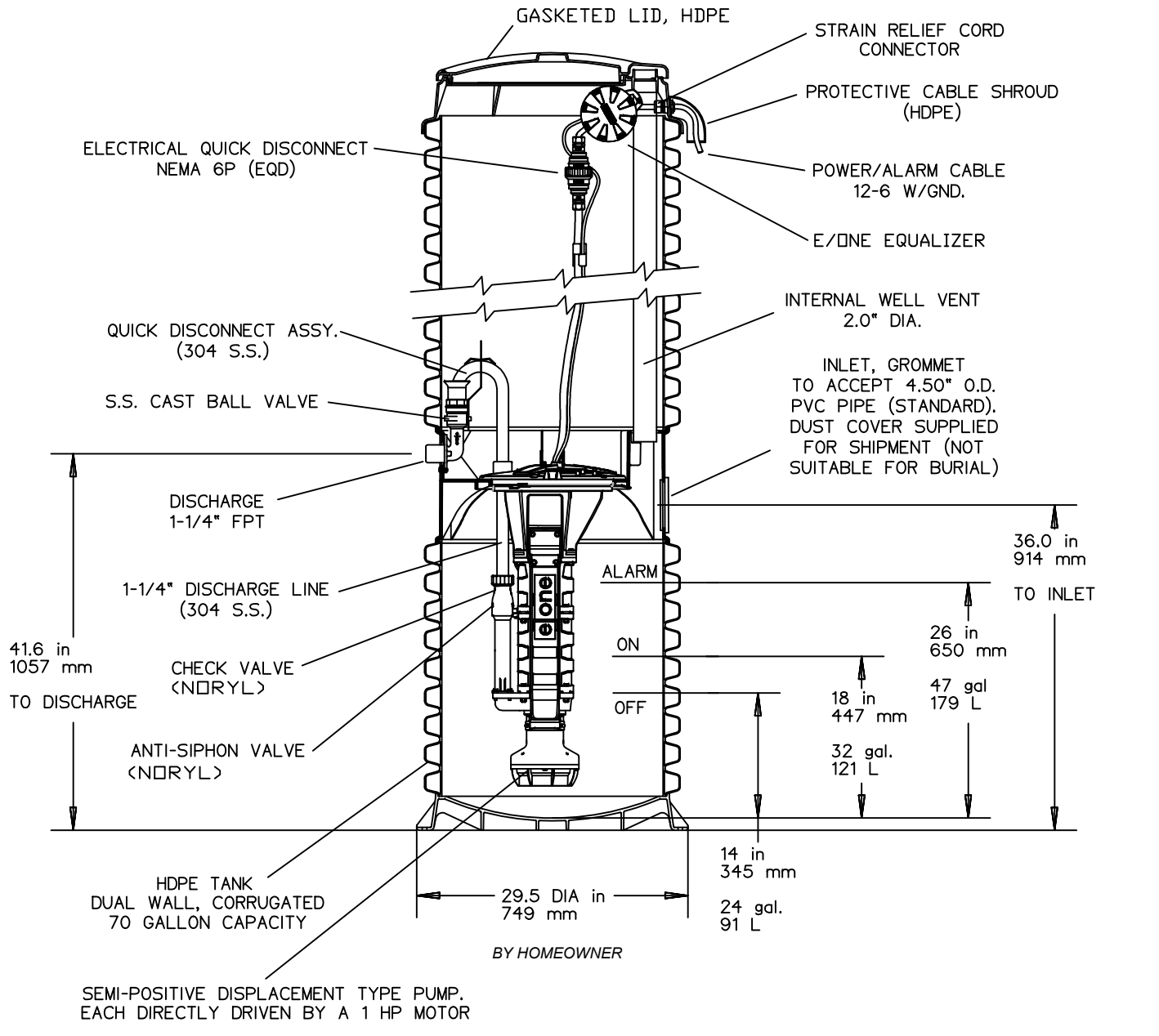
STONE FILL
HYSDOT LIGHT, MEDIUM OR HEAVY STONE FILL (HYSDOT ITEM NO. 620.03, 620.04, OR 620.05) CONFORMING TO HYSDOT SECTION 620.03 WITH GEOTEXTILE FABRIC.

SAW CUTS
SAW CUTS BY THE CONTRACTOR SHALL BE MADE WITH A SAW, PNEUMATIC SPADE OR OTHER MEANS APPROVED BY THE ENGINEER, PRIOR TO EXCAVATION. THE USE OF A "PIZZA CUTTER" OR SIMILAR DEVICE WILL BE PROHIBITED.

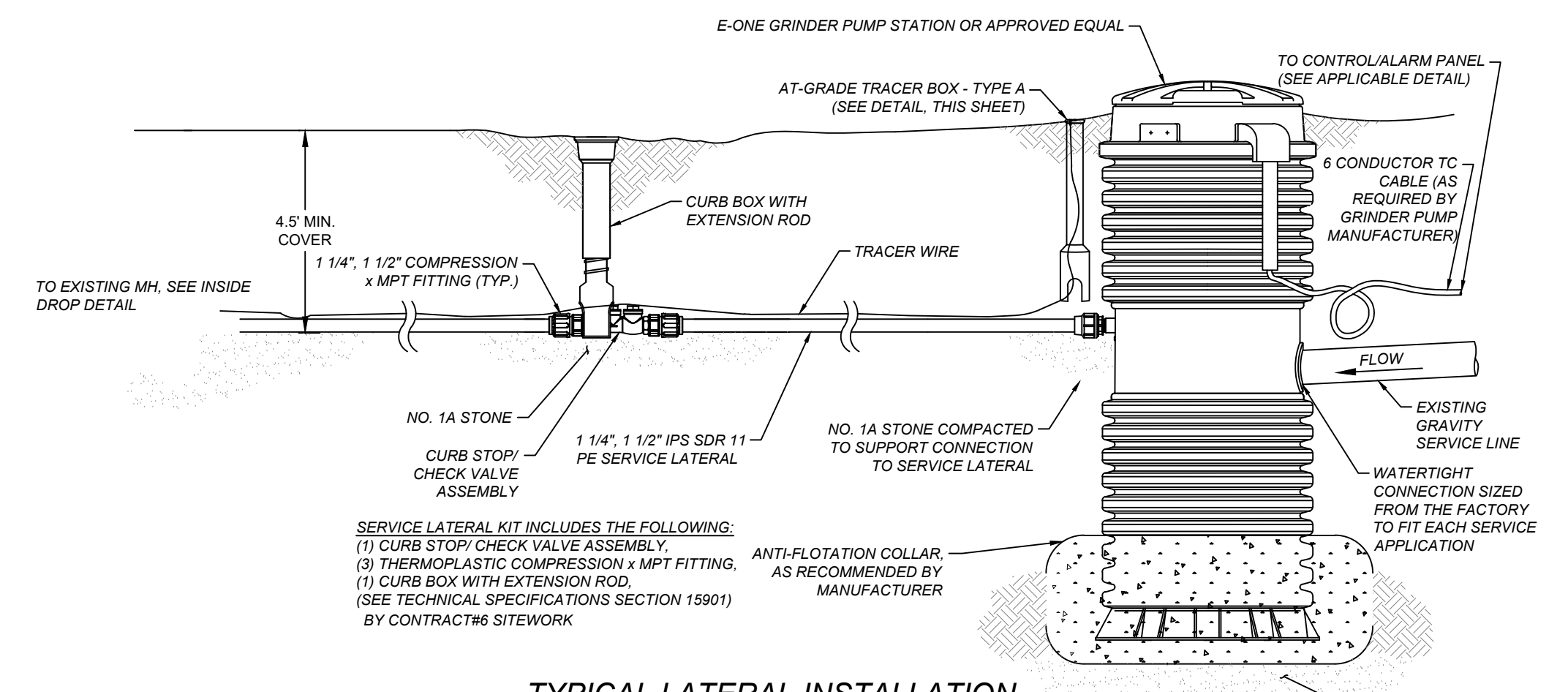
ADDITIONAL SAW CUTS
THE CONTRACTOR SHALL BE RESPONSIBLE TO SAW CUT AN ADDITIONAL 12" ON EACH SIDE OF THE DISTURBED TRENCH AREA, BEYOND THE ORIGINAL SAW CUT, SO AS TO PROVIDE A SQUARE STRAIGHT EDGE. IF THE ORIGINAL EDGE HAS BEEN DAMAGED OR BROKEN OFF, NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR THIS WORK WHEN REQUIRED.

FINAL RESTORATION
THE CONTRACTOR SHALL REFER TO THE FOLLOWING TABLE AND TO THE APPLICABLE TECHNICAL SPECIFICATION SECTIONS FOR FINAL RESTORATION OF ALL TYPES.

TYPE OF RESTORATION	TECHNICAL SPECIFICATION	NOTES
LAWN RESTORATION	0201	1" OF TOPSOIL, 100 LBS PER YARD
FIELD RESTORATION	0201	1" OF TOPSOIL, 100 LBS PER YARD
CONCRETE DRIVEWAY RESTORATION	0201	SEE CONCRETE WORKING DETAIL, THIS SHEET
CONCRETE RESTORATION (SHOULDER)	0201	SEE SHOULDER SECTIONS, THIS SHEET
PAVEMENT RESTORATION (DRIVEWAY)	0201	SEE PAVEMENT SECTIONS, THIS SHEET
SHOULDER RESTORATION	0201	SEE SHOULDER SECTIONS, THIS SHEET



E-ONE GRINDER PUMP
N.T.S.



TYPICAL LATERAL INSTALLATION
N.T.S.

- SERVICE LATERAL KIT INCLUDES THE FOLLOWING:**
- CURB STOP CHECK VALVE ASSEMBLY.
 - THERMOPLASTIC COMPRESSION x MPT FITTING.
 - CURB BOX WITH EXTENSION ROD. (SEE TECHNICAL SPECIFICATIONS SECTION 15901) BY CONTRACT#6 SITEWORK

CARL R. CALARCO, P.E.
NYS LIC # 088460
P.O. BOX 693
ELLCOTTVILLE, NEW YORK 14731
716-244-8313
CRCALCARCO@VERIZON.NET

PROPOSED DETAILS

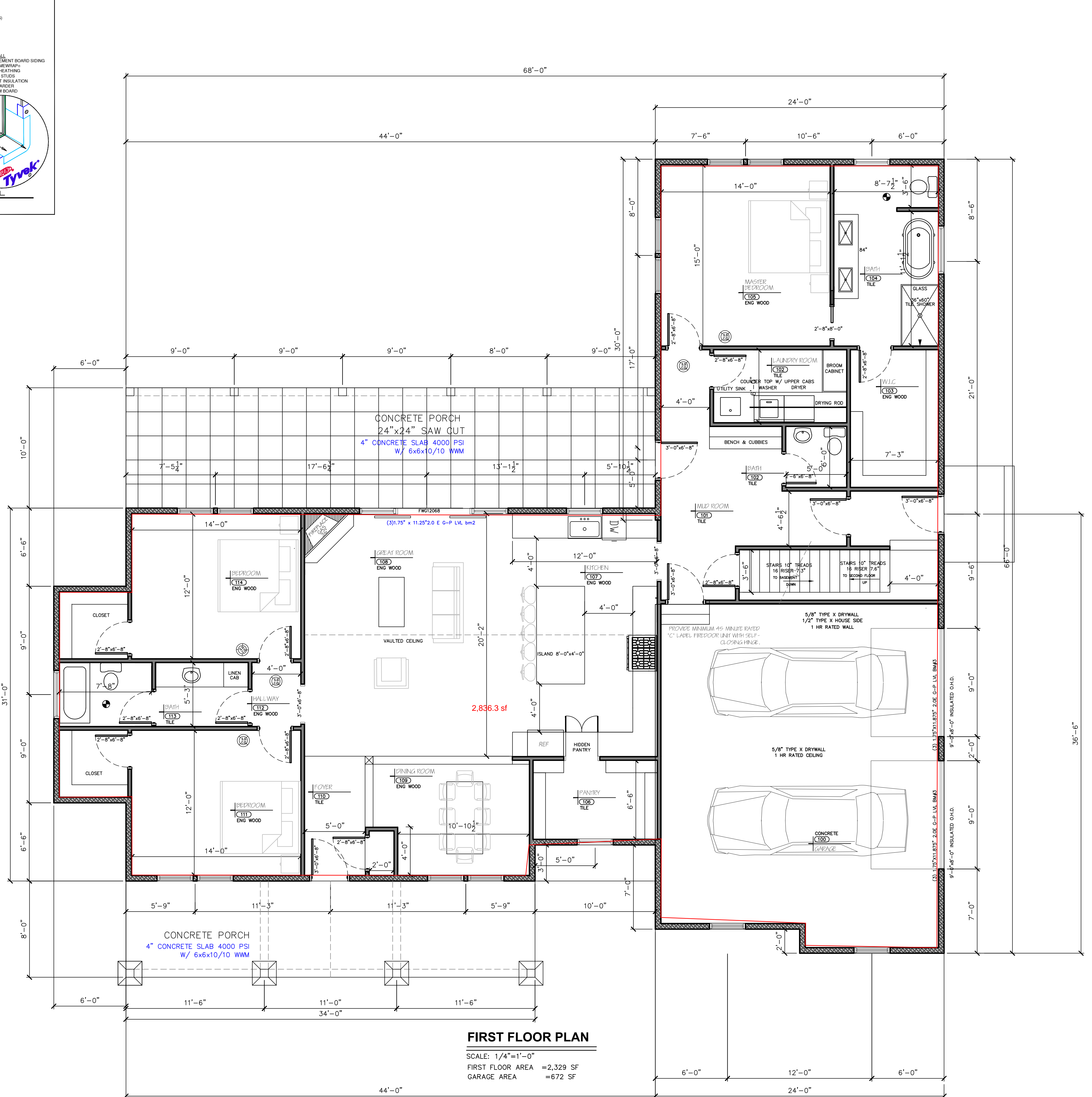
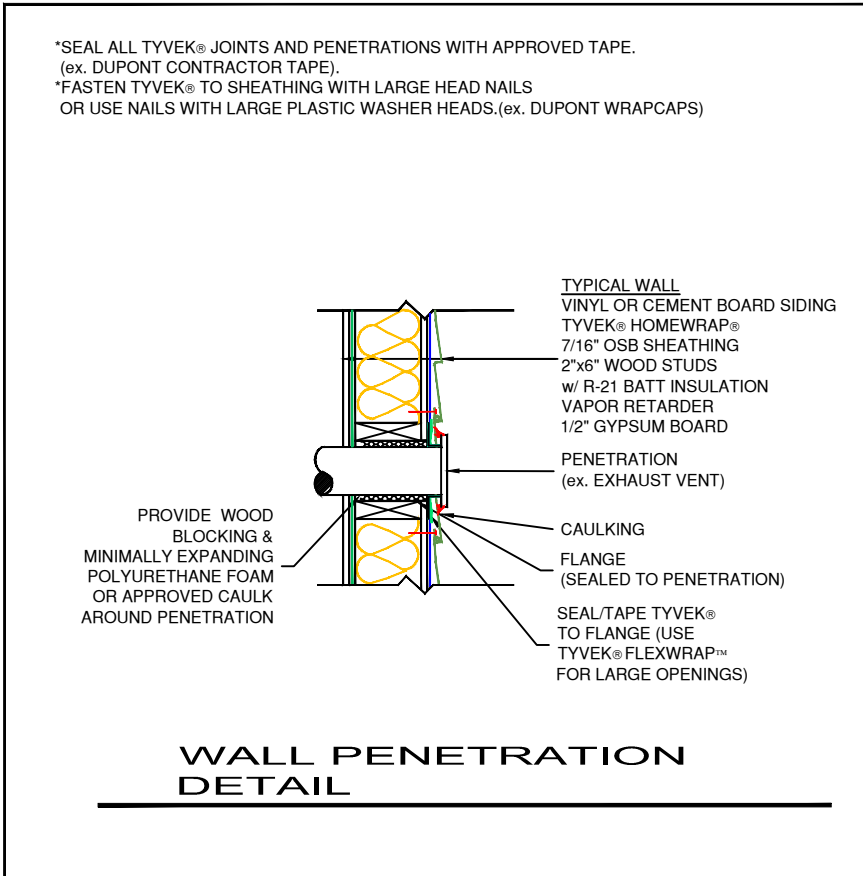
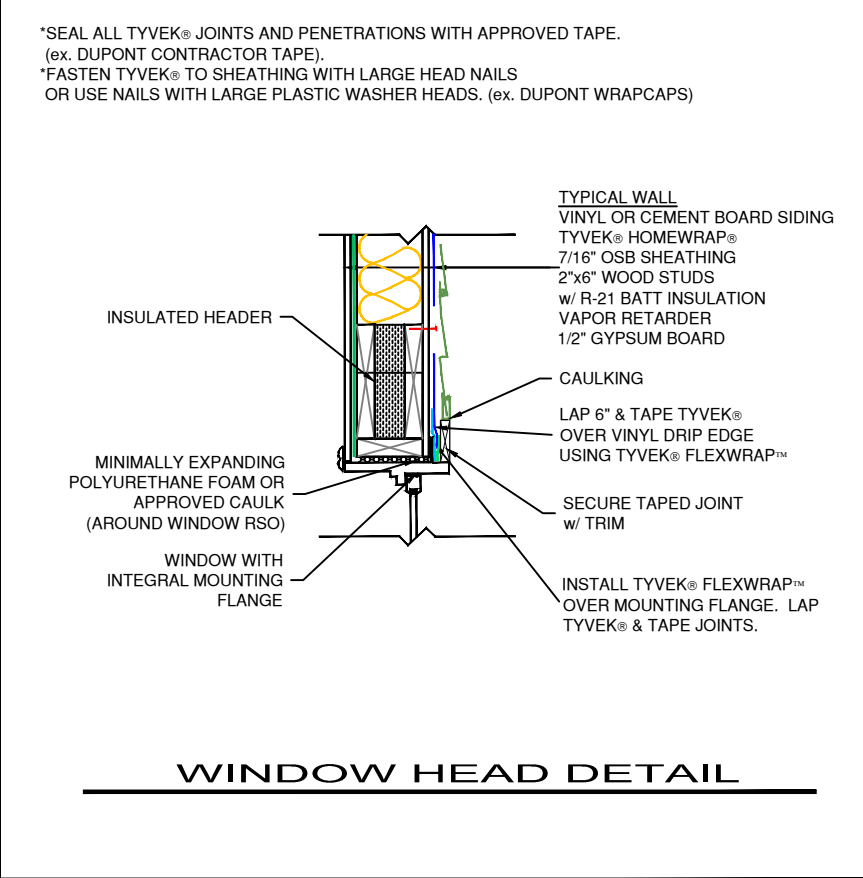
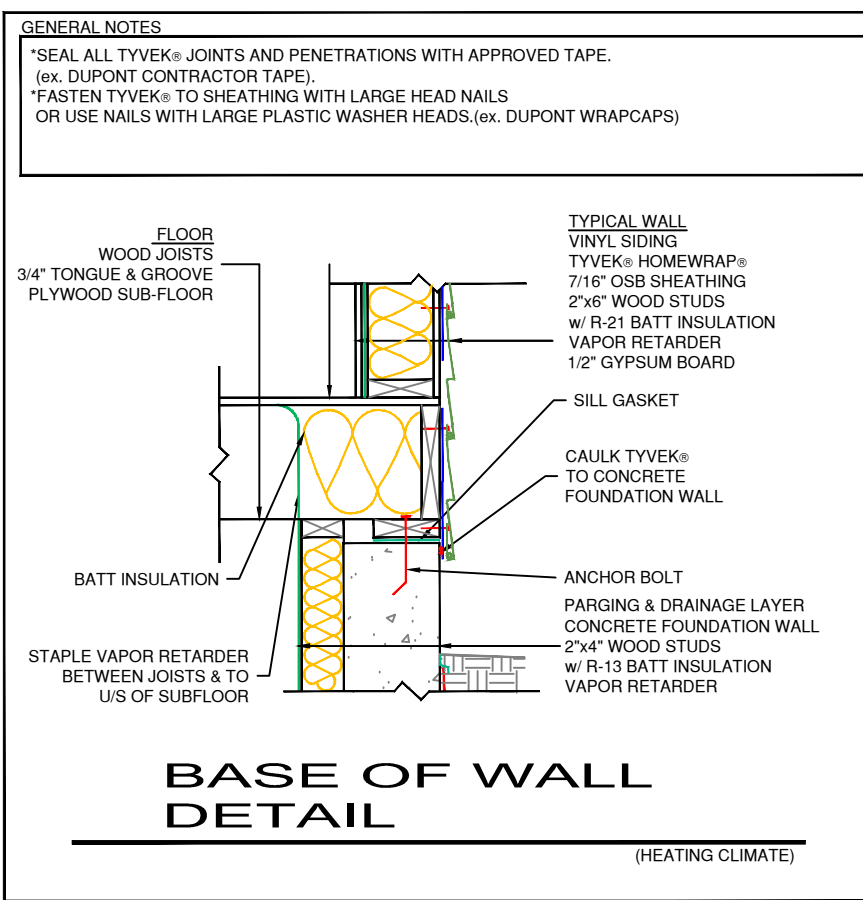
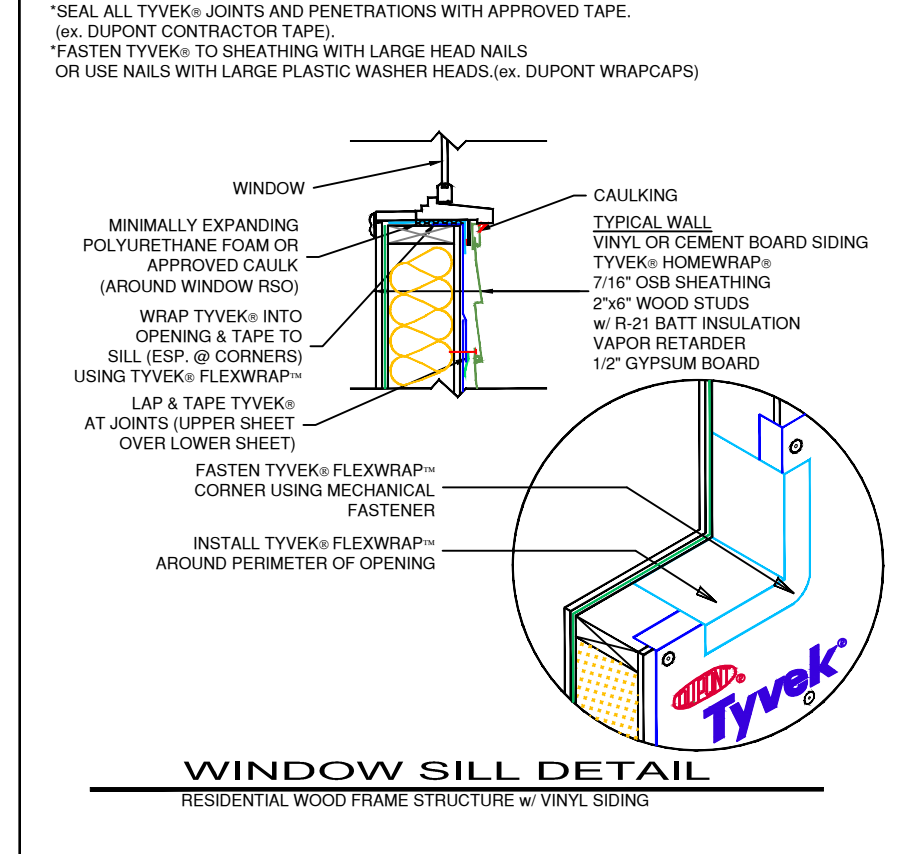
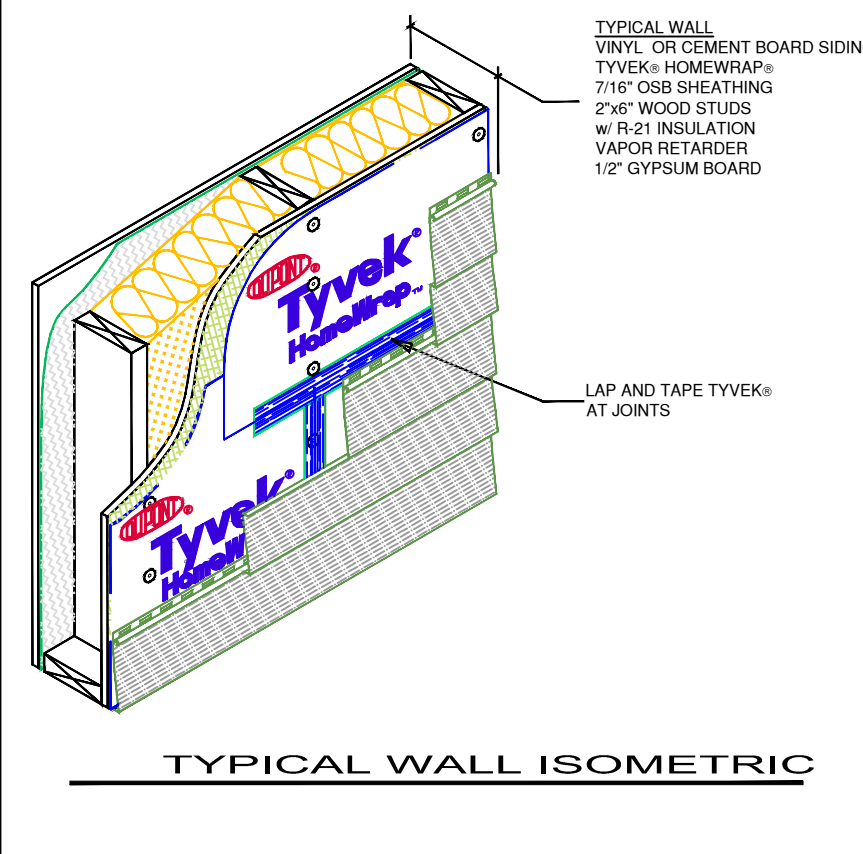
AARON B. TILLER
COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES
5 PINE STREET
ALLEGANY, NEW YORK 14706
716-307-3684
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN FOR
GRACI RESIDENCE
MILL STREET
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:

12-19-2021 REVIEWED BY:

DRAWING NO: **C102**



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
 FIRST FLOOR AREA = 2,329 SF
 GARAGE AREA = 672 SF

CARL R. CALARCO, P.E.
 NYS LIC # 088460
 P.O. BOX 693
 ELLICOTTVILLE, NEW YORK 14731
 716-244-8313
 CRCLARCO@VERIZON.NET

PROPOSED FIRST FLOOR PLAN

AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN FOR
GRACI RESIDENCE
 MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

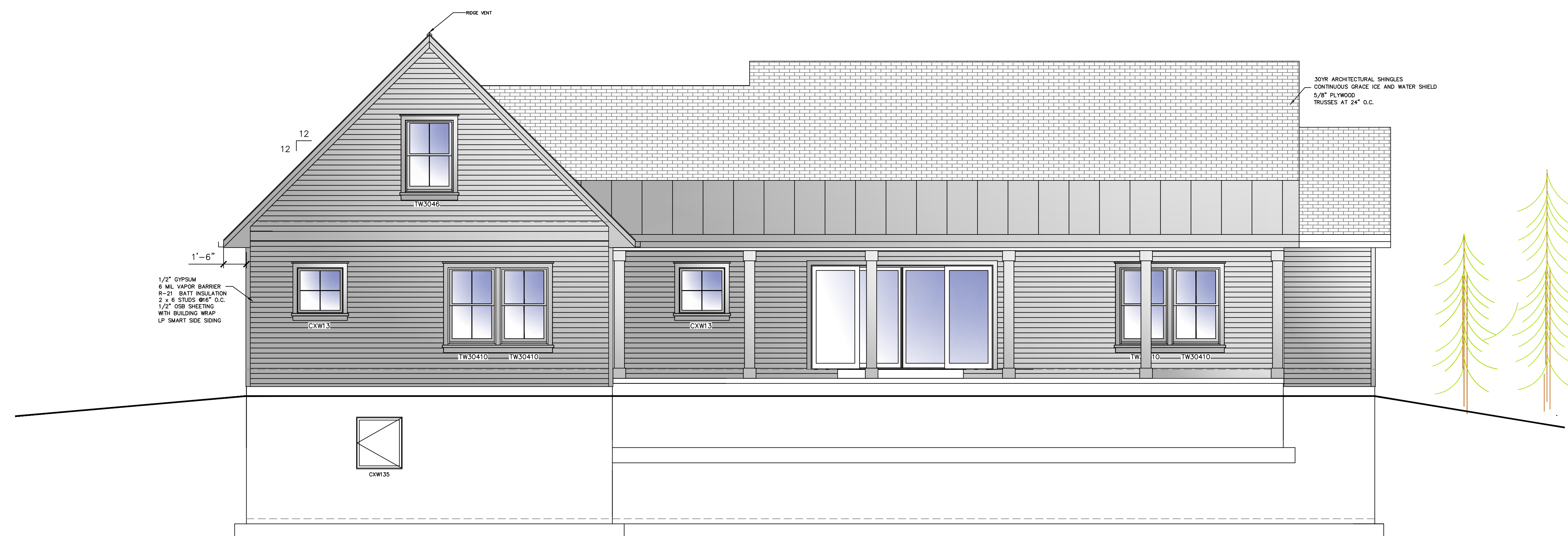
REVISION DATE:	DRAWN BY:
DATE: 12-19-2023	REVIEWED BY:
DRAWING NO: A101	

CARL R.
 CALARCO, P.E.
 NYS LIC # 088460
 P.O. BOX 693
 ELLICOTTVILLE, NEW YORK 14731
 716-244-8313
 CRCALARCO@VERIZON.NET



FRONT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

PROPOSED
 ELEVATIONS

AARON B.
 TILLER

COMMERCIAL, INDUSTRIAL, RESIDENTIAL
 CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN
 FOR

GRACI
 RESIDENCE

MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:

DATE: 12-19-2023 REVIEWED BY:

DRAWING NO:
A201

CARL R.
CALARCO, P.E.

NYS LIC # 088460
P.O. BOX 693
ELLCOTTVILLE, NEW YORK 14731
716-244-8313
CRCALARCO@VERIZON.NET

PROPOSED
ELEVATIONS

AARON B.
TILLER

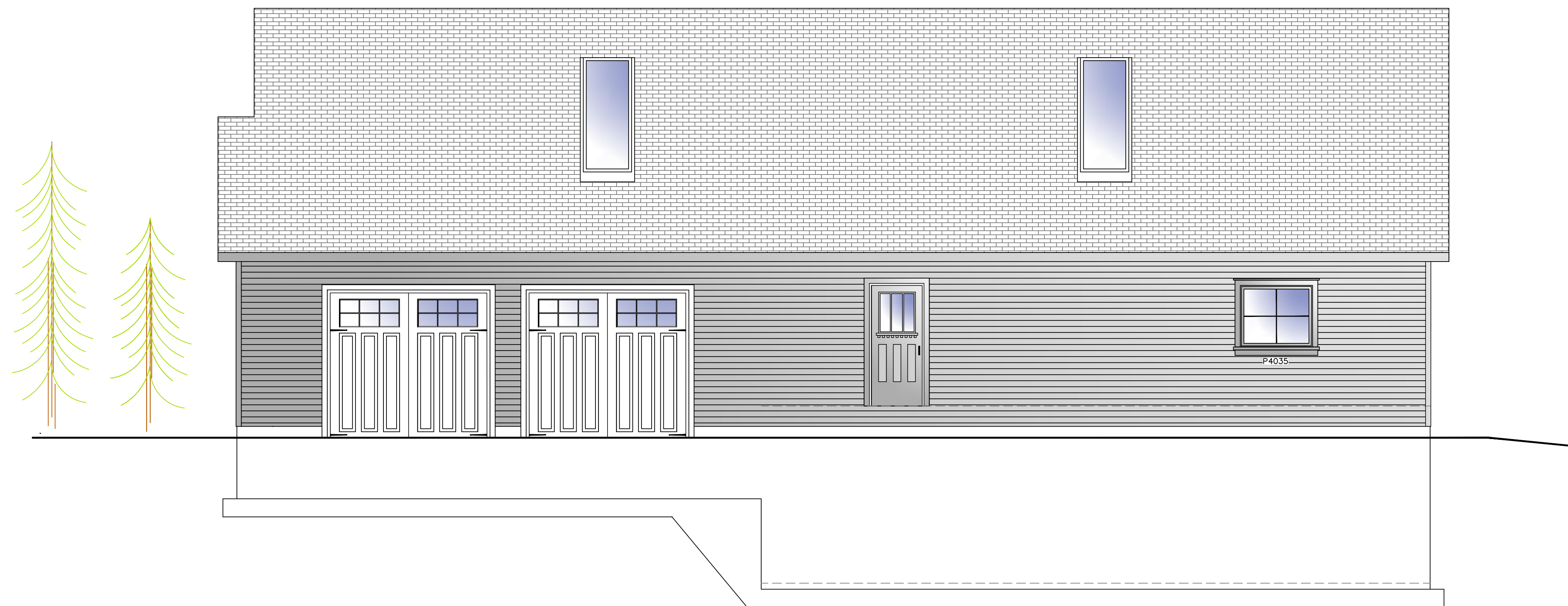
COMMERCIAL, INDUSTRIAL, RESIDENTIAL
CAD SERVICES
5 PINE STREET
ALLEGANY, NEW YORK 14706
716-307-3684
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN
FOR
**GRACI
RESIDENCE**
MILL STREET
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:

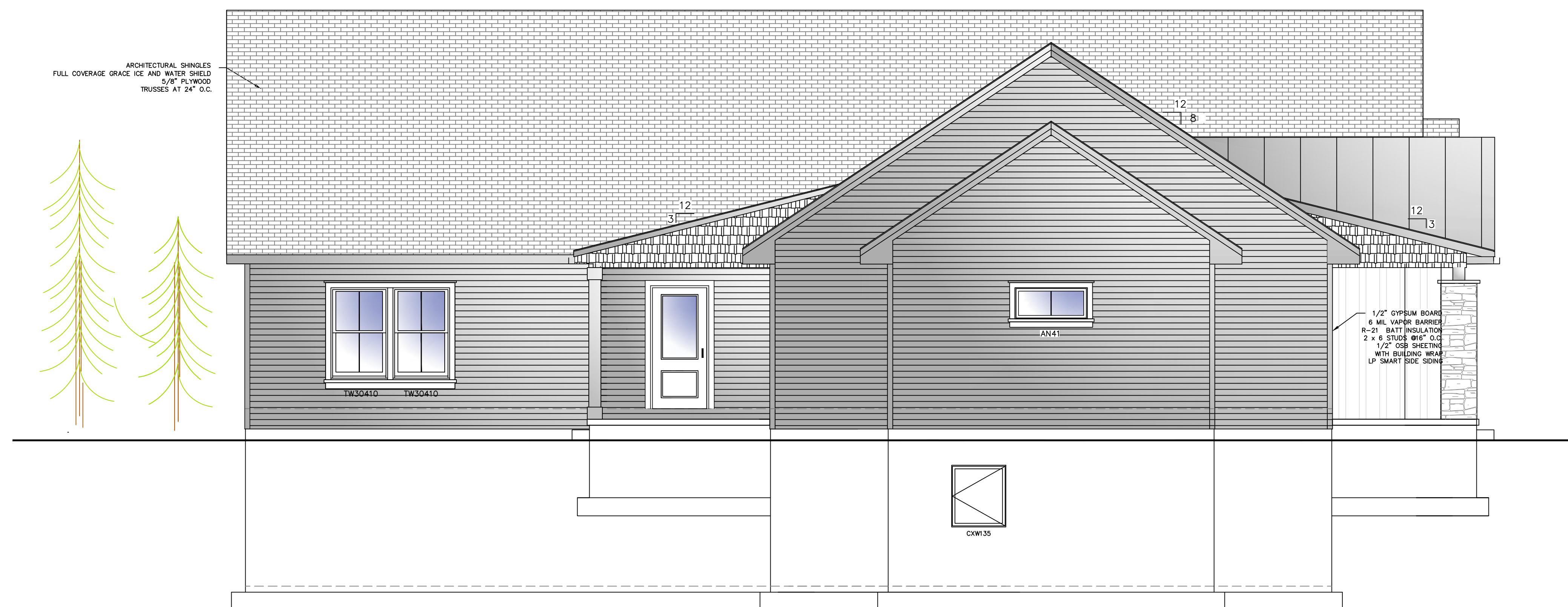
DATE: 12-19-2023 REVIEWED BY:

DRAWING NO:
A202



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

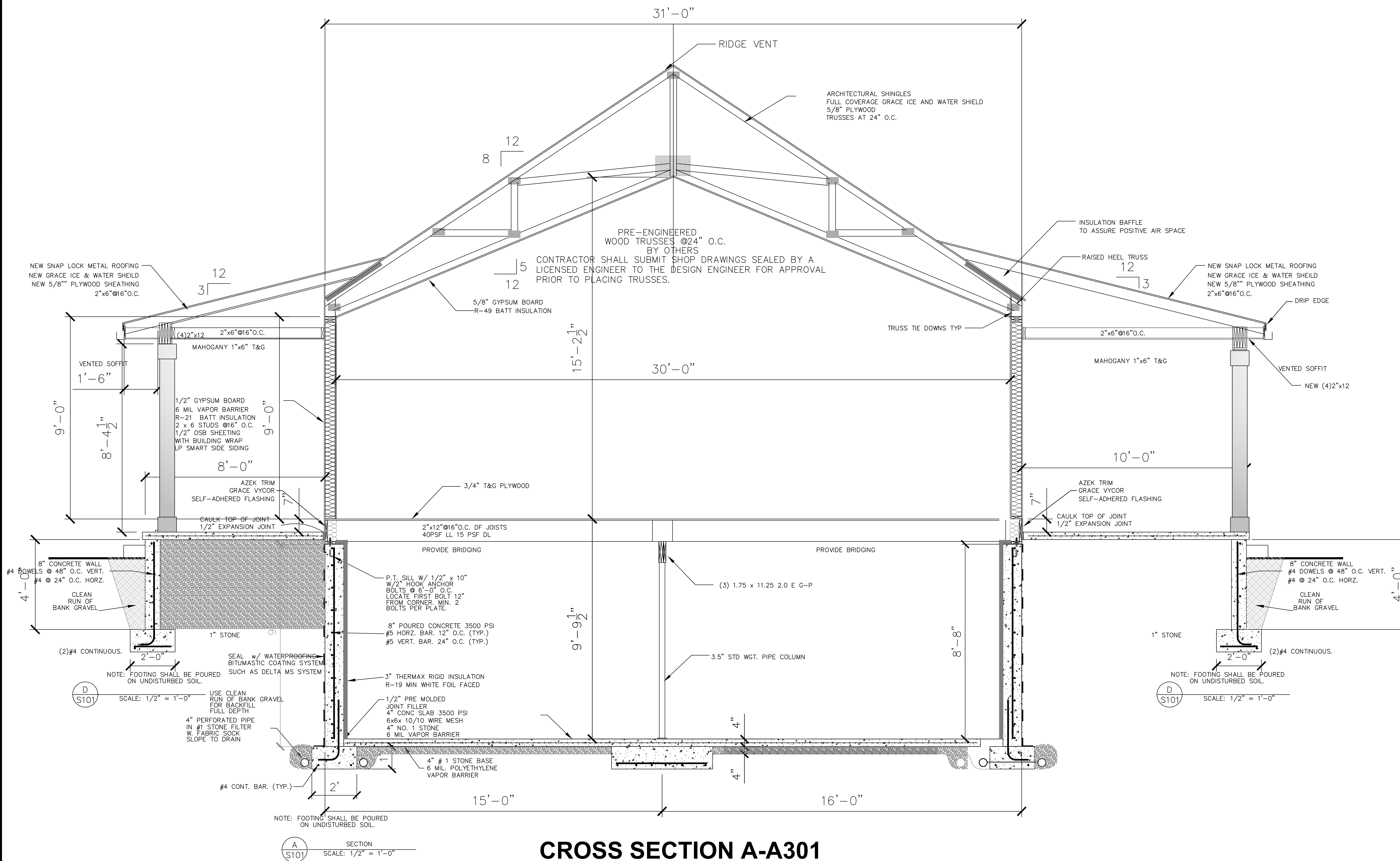
SCALE: 1/4"=1'-0"

PROPOSED
 CROSS SECTION

AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL
 CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN
 FOR
GRACI RESIDENCE
 MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	A301



CROSS SECTION A-A301

SCALE: 1/2"=1'-0"

FRAMING NOTES

THE FOLLOWING IS A LIST OF PROCEDURES TO ACCOMPANY STANDARD BUILDING PRACTICES AND SHOULD BE FOLLOWED DURING THE FRAMING OF THE STRUCTURE:

- A. ALL FRAME WALLS SHALL HAVE STUD FRAMING PLACED AT 16" O.C. EXCEPT WHERE NOTED OTHERWISE.
- B. TOP PLATES SHALL BE DOUBLED ON ALL WALLS EXCEPT WHERE NOTED OTHERWISE.
- C. JACK STUDS UNDER ALL HEADERS SHALL BE CONTINUOUS TO SOLE PLATE.
- D. DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE, ALSO UNDER KITCHEN CABINETS AND BATHTUBS PARALLEL WITH JOISTS.
- E. BLOCK ALL STUD WALLS AS REQUIRED FOR SHEATHING.
- F. SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT SUPPORTING WALLS AND BEAMS EXCEPT AT RIM JOISTS.
- G. DOUBLE RIM JOISTS AT ALL WALLS PARALLEL TO JOISTS.
- H. BEAMS, GIRDERS AND JOISTS SUPPORTING BEARING WALLS OR CONCENTRATED LOADS SHALL NOT BE NOTCHED OR DRILLED WITH HOLES LARGER THAN 1" DIA.
- I. ALL RAFTERS SHALL BE NOTCHED TO PROVIDE FULL BEARING AT SUPPORTS.
- J. THE ENDS OF ALL JOISTS SHALL BEAR ON NOT LESS THAN 1 1/2" WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY. THE ENDS OF ALL BEAMS OR GIRDERS BEAR NOT LESS THAN 3".
- K. LAP JOISTS 3" MIN. (24" MAX.) AT ALL INTERIOR BEARING SUPPORTS.
- L. MUD SILLS AND LEDGER BOARDS AT CONCRETE WALLS SHALL HAVE ANCHOR BOLTS OF THE SIZE AND SHAPE SHOWN ON THE DRAWING. EACH BOARD SHALL BE SECURED WITH AT LEAST TWO BOLTS AND EACH BOARD SHALL HAVE A BOLT WITHIN 12" OF EACH END.
- M. PROVIDE DOUBLE FRAMING AT ALL ROOF AND FLOOR DIAPHRAGM PENETRATIONS, UNLESS OTHERWISE NOTED.
- N. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY JOINED TOGETHER.
- O. ALL ROOF TRUSSES SHALL BE DESIGNED BY A REGISTERED ENGINEER FOR THE TRUSS MANUFACTURER. SUBMIT SEALED TRUSS ENGINEERING DRAWINGS TO THE LOCAL BUILDING DEPT. INDICATING BRACING, ETC. THAT MAY BE REQUIRED.
- P. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WITH A WATER BORNE PRESERVATIVE.
- Q. ALL MECHANICAL HOLES THROUGH ANY STRUCTURAL MEMBER SHALL BE AT THE CENTER LINE OF THE MEMBER IN COMPLIANCE WITH THE LATEST EDITION OF THE WOOD STRUCTURAL DESIGN DATA SPECS.

WINDOW AND DOOR REQUIREMENTS

- A. ALL WINDOWS ARE NOTED BY ANDERSEN CATALOG # IN PLAN AND ELEVATION, WITH SPECIFIC MANUFACTURER SELECTION BY OWNER AND/OR CONTRACTOR. CONTRACTOR MUST VERIFY ALL ROUGH FRAMING OPENINGS.
- B. BEDROOMS AND SLEEPING AREAS MUST HAVE AT LEAST ONE WINDOW W/ SILL HEIGHT NO MORE THAN 44" ABOVE THE FLOOR WHICH WILL MEET LOCAL CODE EMERGENCY EGRESS REQUIREMENTS. MINIMUM NET CLEAR OPENING OF 5.7 SF. GRADE FLOOR MIN= 5.0 SF, MIN OPENING WIDTH=20", MIN OPENING HEIGHT=24"
- C. ALL WINDOWS, DOORS, & PATIO DOORS W/ GLASS SHALL BE DOUBLE GLAZED, INSULATED UNITS WITH WOOD OR ALUMINUM FRAME AND SASH.
- D. EXTERIOR DOORS ARE TO BE FOAM CORE INSULATED STEEL DOORS UNLESS OTHERWISE NOTED.
- E. ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE 3/4 HOUR FIRE RATED ASSEMBLIES W/ 1-3/4" SOLID WOOD CORE (OR CODE APPROVED EQUAL) WITH SELF CLOSING MECHANISM.

MISCELLANEOUS

- A. PLUMBING DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
- B. HEATING/COOLING DUCTS DRAWINGS SHALL BE PROVIDED BY THE H.V.A.C. CONTRACTOR.
- C. HEAT LOSS OR ENERGY USE CALCS. TO BE PROVIDED BY THE HVAC CONTRACTOR AS REQUIRED BY REGULATIONS.
- D. ALL FIREPLACES WILL BE U.L. APPROVED ZERO-CLEARANCE FIREPLACES WITH A TRIPLE WALL METAL FLUE, 0/1/ APPROVED SPARK ARRESTOR CHIMNEY CAP W/ RAIN CAP. ALL FIREPLACE OPENINGS SHALL BE PROVIDED WITH TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR FOR FIREPLACES, WOOD STOVE, AND LIQUID FUEL HEATING APPLIANCES (U.B.C. 3707(1)) UNLESS OTHERWISE SPECIFIED. MASONRY FIREPLACES SHALL BE CONSTRUCTED PER R1001 AND R1003 OF NYS BUILDING CODE.
- E. SMOKE DETECTORS SHALL BE CONNECTED TO HOUSE POWER AND ALL DETECTORS SHALL BE INTERCONNECTED.
- F. TUB AND TUB/SHOWER ENCLOSURES ARE TO HAVE 1/2" WATER RESISTANT GYP. BOARD AND A HARD, MOISTURE RESISTANT SURFACE 6'-0" MIN. ABOVE THE FLOOR.
- G. ALL EXHAUST FANS, RANGE HOODS, AND DRYERS SHALL VENT TO OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXT. ENVELOPE.
- H. PROVIDE 5/8" TYPE "X" FIRE RATED, GYPSUM BOARD BETWEEN GARAGE AND LIVING AREAS INCLUDING GARAGE CEILING AND UNDER STAIRS WHERE STORAGE SPACE IS PROVIDED.
- I. CONTRACTOR IS RESPONSIBLE FOR SITE LOCATION OF ALL FOUNDATION AND SLAB PENETRATIONS.
- J. STAIR TREADS AND RISERS SHALL BE WITHIN CODE REQUIRED DIMENSIONS.
- K. ALL STAIRS W/ 3+ RISERS MUST HAVE HANDRAIL.
- L. A VAPOR-PERMEABLE AIR INFILTRATION BARRIER, SUCH AS TYVEK, IS TO BE INSTALLED BETWEEN WALL SHEATHING AND SIDING.
- M. BEFORE STARTING CONSTRUCTION, THE USER OF THESE PLANS MUST VERIFY THE AVAILABILITY OF THE PRODUCTS SUGGESTED OR SPECIFIED, HEREIN.
- N. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, ETC., IN ACCORDANCE W/ MANUF. REPRESENTATIVES IN WRITING.
- O. STRUCTURE IS DESIGNED TO CARRY THE LOAD OF COMPOSITION ROOF SHINGLES OR SHAKES. SHOULD SUBSTANTIALLY HEAVIER ROOF MATERIALS BE CONTEMPLATED, THE STRUCTURE WILL NEED TO BE REDESIGNED ACCORDINGLY.
- P. ALL GLASS WITHIN 12" OF A DOOR AND/OR 18" OF THE FLOOR SHALL HAVE TEMPERED GLAZING.
- Q. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BRACING OR TO OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL THE MEMBERS HAVE BEEN PERMANENTLY JOINED.

STRUCTURAL & MISC. METAL

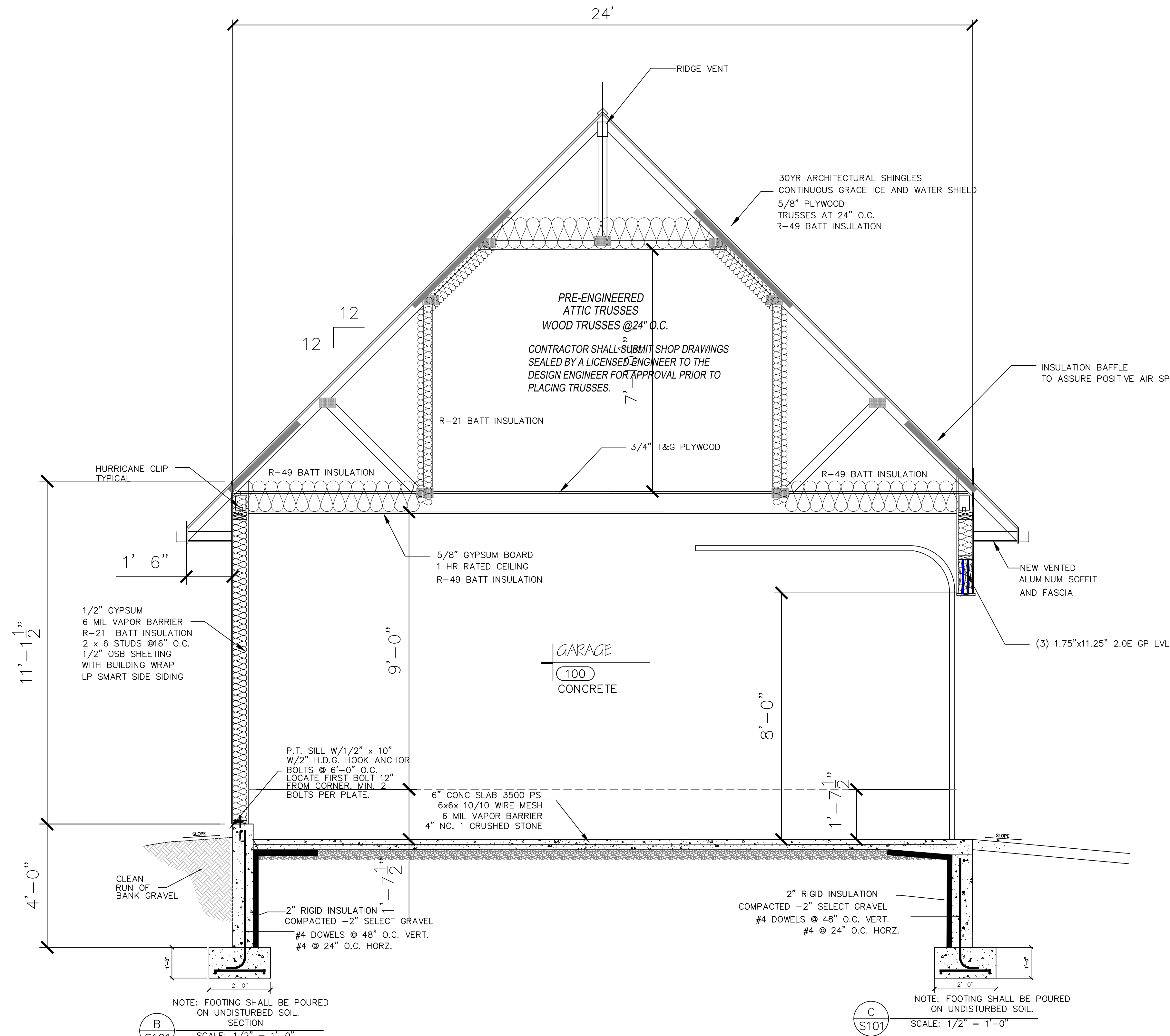
- A. STRUCTURAL SHAPES, BARS AND PLATES SHALL BE STEEL, MEETING ASTM STANDARD A36. PIPE COLUMNS SHALL BE STANDARD WEIGHT, MEETING ASTM A53, TYPE S, UNLESS OTHERWISE NOTED.
- B. DESIGN AND FABRICATION SHALL CONFORM TO AISC SPECIFICATIONS. EXPOSED WELDS SHALL BE GRIND SMOOTH AND FLUSH. REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED. ALL ITEMS EXCEPT THOSE TO BE ENCASED IN CONCRETE, SHALL BE SHOP PAINTED W/ RUST INHIBITING PRIMER. ERECTION SHALL CONFORM TO AISC SPECS.

FLASHING

INSTALL FLASHING AND COUNTER-FLASHING OF 26 GAUGE GALVANIZED METAL OR ALUMINUM WHEREVER DISSIMILAR BUILDING MATERIALS JOIN OR INTERSECT AT THE ROOF OF THE STRUCTURE. THIS INCLUDES ALL INTERSECTIONS OF THE ROOF WITH VERTICAL WALLS, CHIMNEYS, AND DORMERS, AND AS OTHERWISE SHOWN ON THE DRAWINGS. FLASHING MUST ALSO BE INSTALLED ABOVE WINDOWS AND DOORS, AND AT ALL HORIZONTAL JOINTS IN SHEET SIDING.

GUTTERS

ALL GUTTERS SHALL BE CONTINUOUS WITHOUT SEAMS AND MADE OF ALUMINUM OR AS OTHERWISE SHOWN ON DRAWINGS. GUTTERS SHOULD BE SECURED A MIN. 4'-0" O.C. W/ APPROVED FASTENERS.



CROSS SECTION B-302

SCALE: 1/2" = 1'-0"

CARL R. CALARCO, P.E.
 NYS LIC # 088460
 P.O. BOX 693
 ELLICOTTVILLE, NEW YORK 14731
 716-244-8313
 CRCALARCO@VERIZON.NET

PROPOSED CROSS SECTION

AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN FOR
GRACI RESIDENCE
 MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

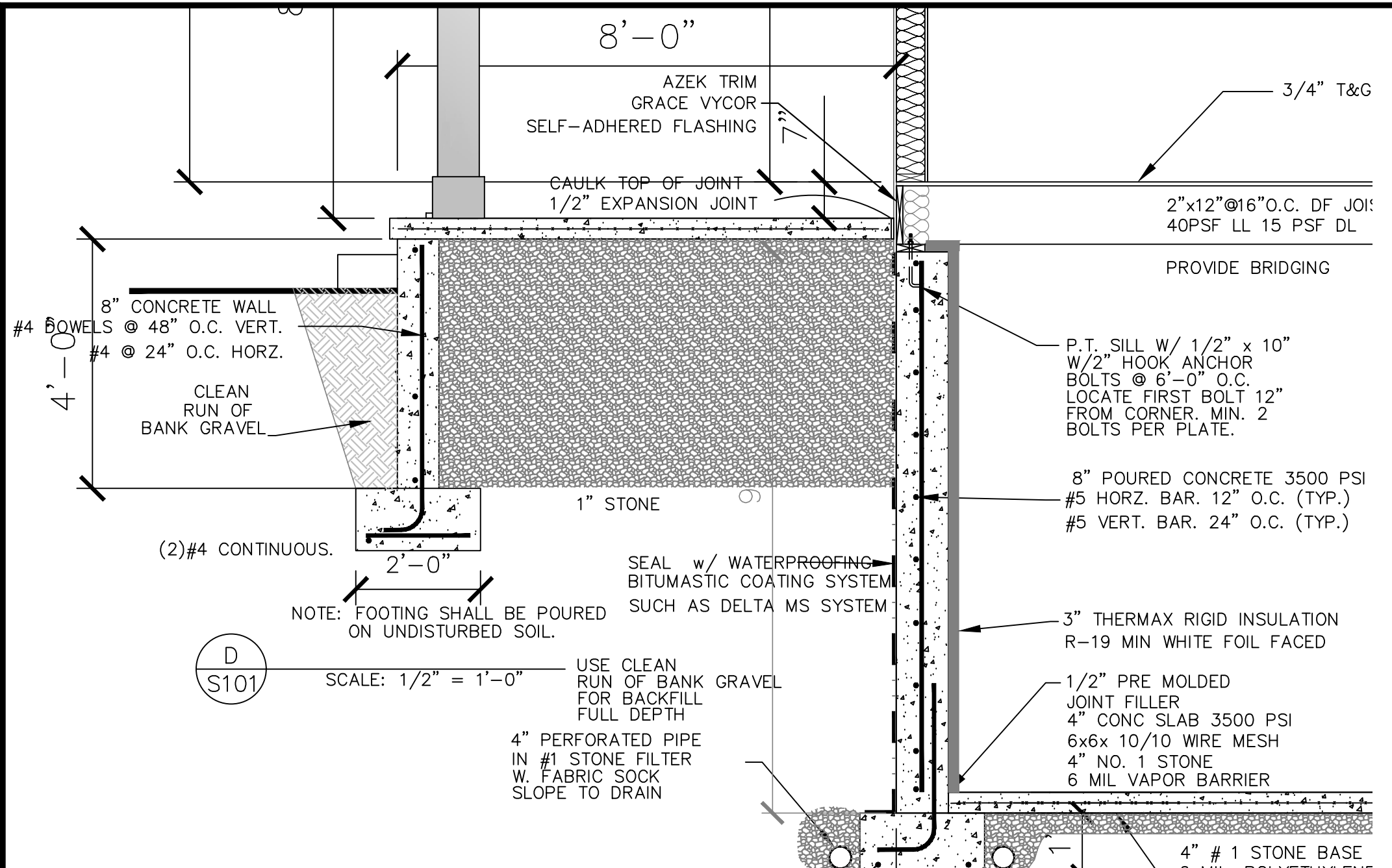
REVISION DATE:	DRAWN BY:
DATE: 12-19-2023	REVIEWED BY:
DRAWING NO:	A302

PROPOSED FOUNDATION PLAN

AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

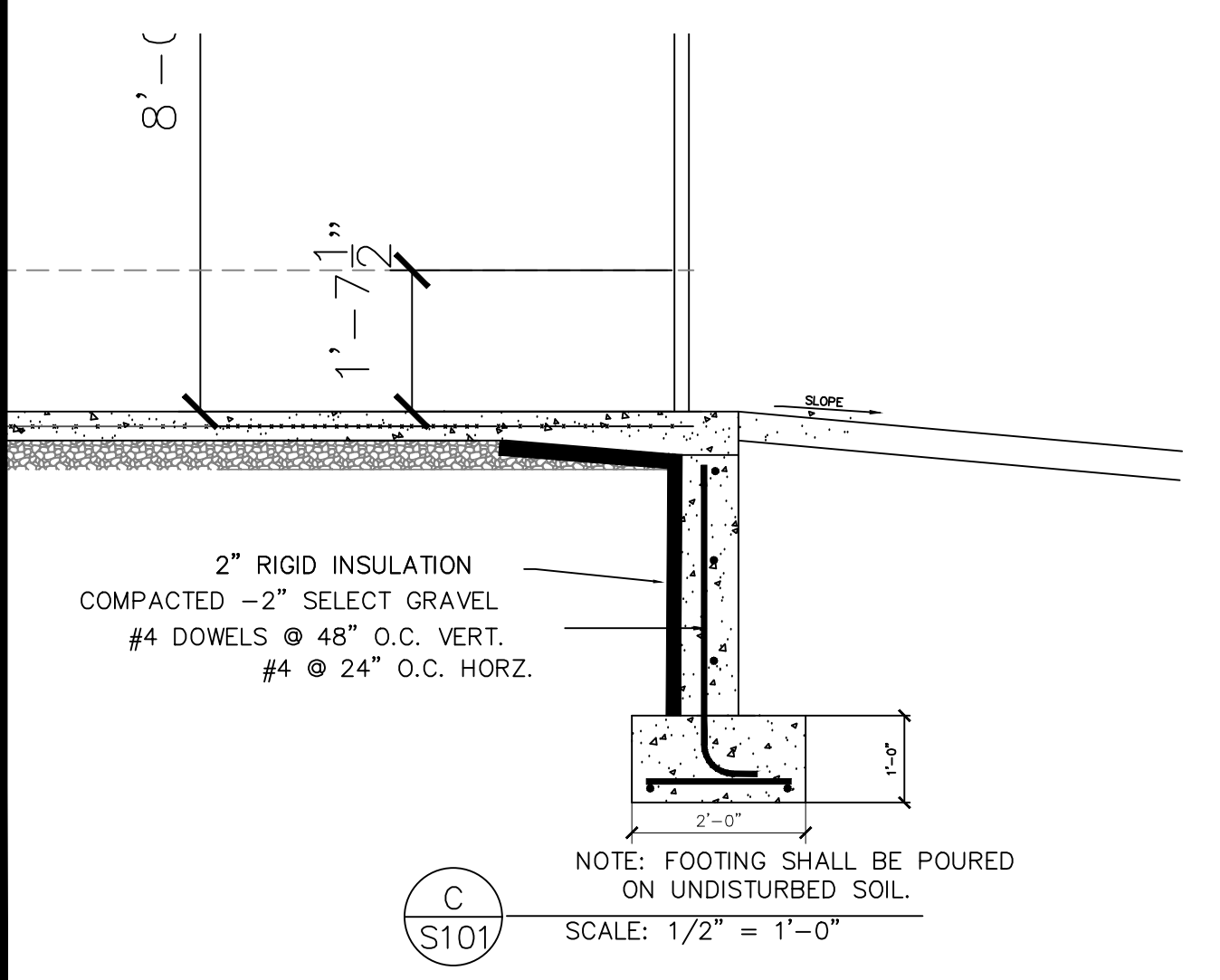
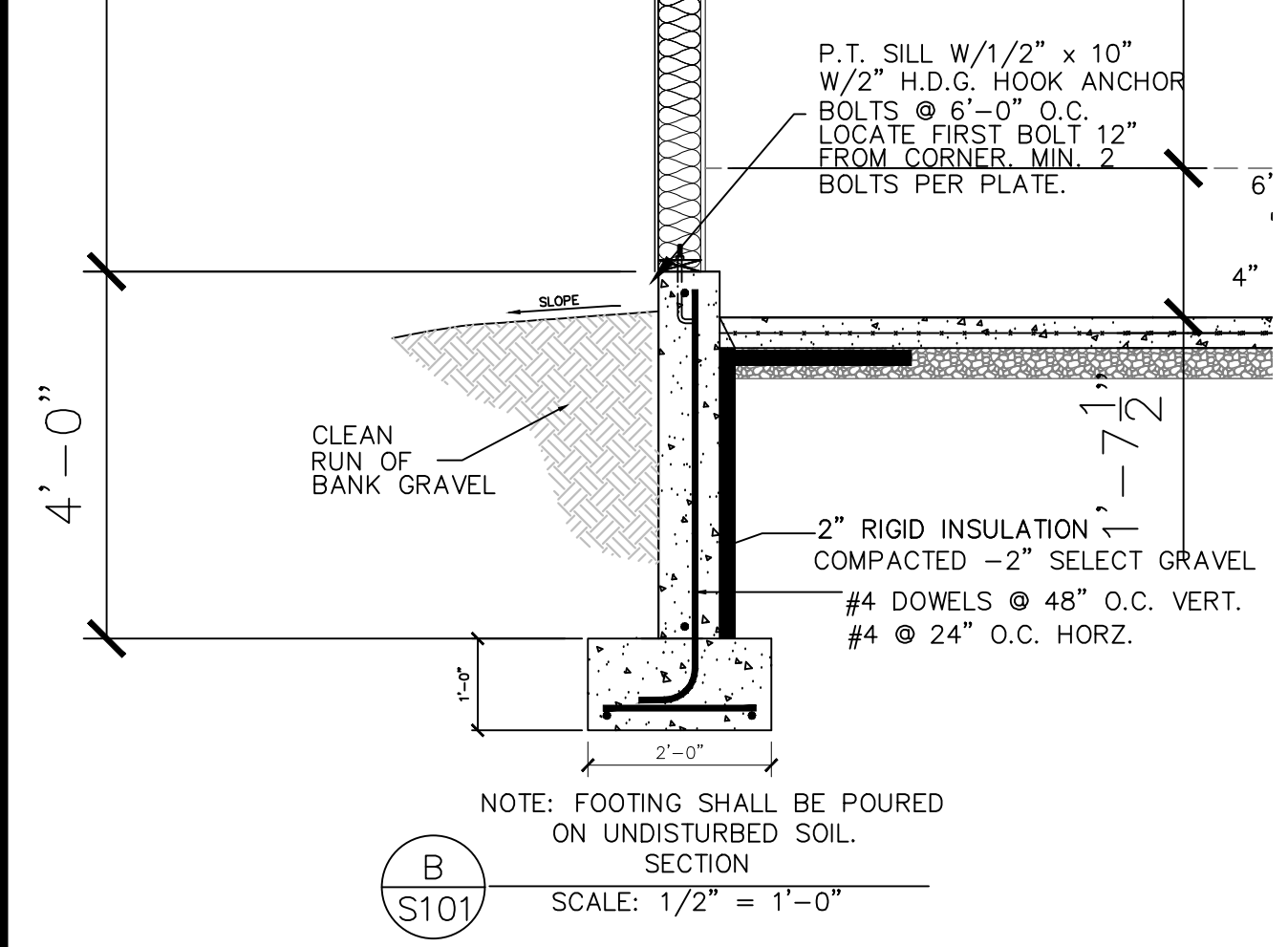
RESIDENTIAL DESIGN FOR
GRACI RESIDENCE
 MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	S101

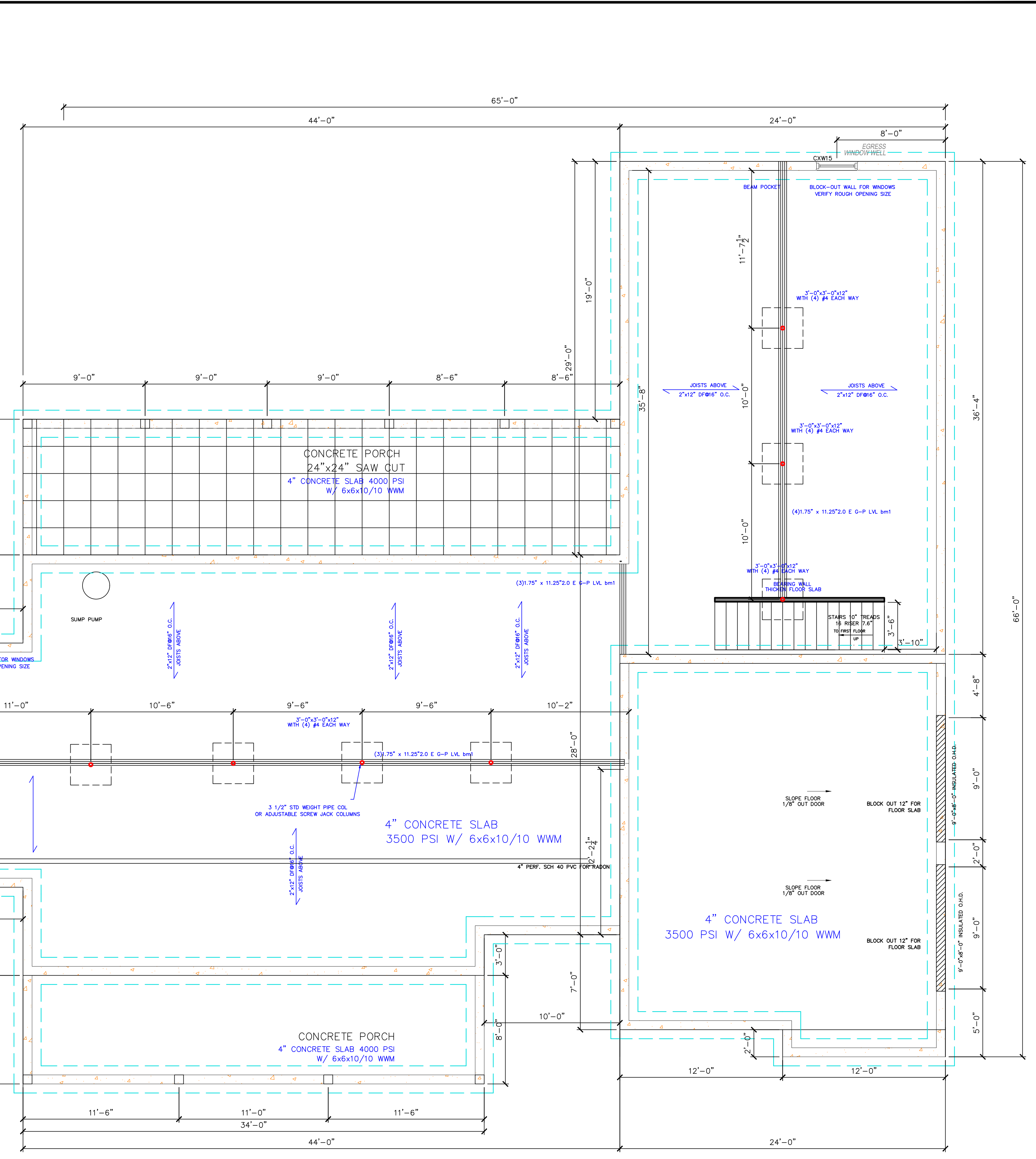


- FOUNDATION NOTES:**
- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND TESTED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINL GRADE.
 - SEE BEARING PRESSURE ASSUMED TO BE 1500 PSF. CONFIRM PRIOR TO CONSTRUCTION.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BRACING STRUCTURES, FOUNDATIONS AND FOUNDATION WALLS.
 - ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MIN. OF 4" IN GRANULAR MATERIAL, COMPACTED TO 95%.
 - CONCRETE - MIX AND BE 28 DAY STRENGTH OF CONCRETE:
- | | |
|--|----------|
| BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER | 3500 PSI |
| BASEMENT & EXTERIOR SLABS ON GRADE | 3000 PSI |
| BASEMENT WALLS & FOUNDATIONS EXPOSED TO THE WEATHER, AND GRADE SLABS | 4000 PSI |
| FOUNDERS, STEPS, & GARAGE SLABS EXPOSED TO WEATHER | 4000 PSI |
- MORTAR & GROUT TO BE MIXED PER MFR. REQUIREMENTS.
- GARAGE FLOORS TO SLOPE 1/4" PER FT. MIN. TOWARDS OPENING AT REQUIRED FOR DRAINAGE. CONCRETE SLABS TO HAVE CONTROL JOINTS AT 10' FT. (MAX.) INTERVALS EA. WAY.
 - CONCRETE SIDEWALKS TO HAVE 3/4" IN. TOOLED JOINTS AT 5' FT. (MAX.) O.C.
 - REINFORCING STEEL TO BE A-615 GRADE 60. WELDED OPTIONAL WIRE NET TO BE A-18.
 - COVER ENTIRE EXTERIOR SPACE WITH A MIL. POLYETHYLENE FILM AND EXTEND UP FOUNDATION WALLS TO P.T. MODEL.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED.
 - BEAM POCKETS IN CONCRETE TO HAVE 1/2" IN. AIRSPACE AT SIDES AND ENDS WITH A MIN. BEARING OF 4" IN.
 - WATERPROOF BASEMENT WALLS BEFORE BACKFILLING. PROVIDING A 4" DIA. PERFORATED DRAIN TILE BELOW THE TOP OF THE FOOTING (SEE BUILDING SECTIONS).

- CONCRETE:**
- CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO ALL CURRENT PRACTICES ENDORSED BY THE AMERICAN CONCRETE INSTITUTE.
 - BACK FILL SHALL NOT BE PLACED AGAINST BASEMENT FOUNDATION WALLS UNTIL:
 - CONCRETE OR MASONRY BRICKS HAS REACHED 28 DAY STRENGTH, AND
 - STRUCTURAL FIRST FLOOR FRAMING, INCLUDING SUB-FLOOR, REQUIRED TO STABILIZE FOUNDATION WALLS IS COMPLETE.
 - FOUNDATION WALLS HAVE BEEN PROPERLY SHORED
 - BASEMENT SLAB HAS BEEN POURED



- Foundations (footings) shall bear on suitable, undisturbed indigenous soil bearing grades, following the removal of any existing structures, all fill soils, buried topsoil and/or any unsuitable indigenous soils, which may be present and extend below the proposed footing grades of the proposed building structure. Suitable indigenous soil bearing subgrades should be free from existing fill, buried topsoil, organics, soft, loose, wet, "mucky" or otherwise deleterious material. Evaluation of the bearing grades should be performed by a representative of a credited geotechnical engineering services company prior to the construction of any foundations.
- Foundations which are constructed on suitable indigenous soil bearing grades, which are properly placed over the suitable bearing subgrades, should be sized based on a maximum net allowable bearing pressure of 2,000 pounds per square foot (psf).
- Following site stripping and surface material removal, and any required excavation for the slab-on-grade construction, the exposed subgrades should be thoroughly compacted/densified, and then proof-rolled just prior to slab-on-grade construction. Any unsuitable soils present at the subgrade elevation, should be undercut, removed to a depth of at least 18-inches below the bottom of the stone layer, and replaced with approved structural fill material. Evaluation of the subgrade, proof-rolling and compaction should be done under the guidance of, and observed by, a representative of a credited geotechnical engineering services company.



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

Ellicottville 55.044-1-4.1

CERTIFICATE OF APPROVAL BY THE PLANNING BOARD
PURSUANT TO THE VILLAGE OF ELICOTTVILLE LAND SUBDIVISION REGULATIONS, ALL THE REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN FINAL APPROVAL BY THE VILLAGE OF ELICOTTVILLE PLANNING BOARD AT A MEETING HELD ON 2016.

DATE: 11-01-16
Nancy Rogan
CHAIRMAN

CERTIFICATE OF APPROVAL RECOMMENDED BY THE VILLAGE ENGINEER

DATE: 11-3-16
Michael J. Tucker
TOWN ENGINEER
VILLAGE

OWNERS CERTIFICATION
THE OWNER OF LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH AN AUTHORIZED AGENT CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL FIELD SURVEY, THAT ALL STATE, TOWN, AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID.

AGENT: _____
DATE: _____
OWNER: _____
DATE: 10/25/2016

NO.	REVISION	DATE
1	Sub-Lot 4a note	10/25/16
2		
3		
4		
5		
6		
7		

Note:
Sub-Lot 4a can not be further subdivided

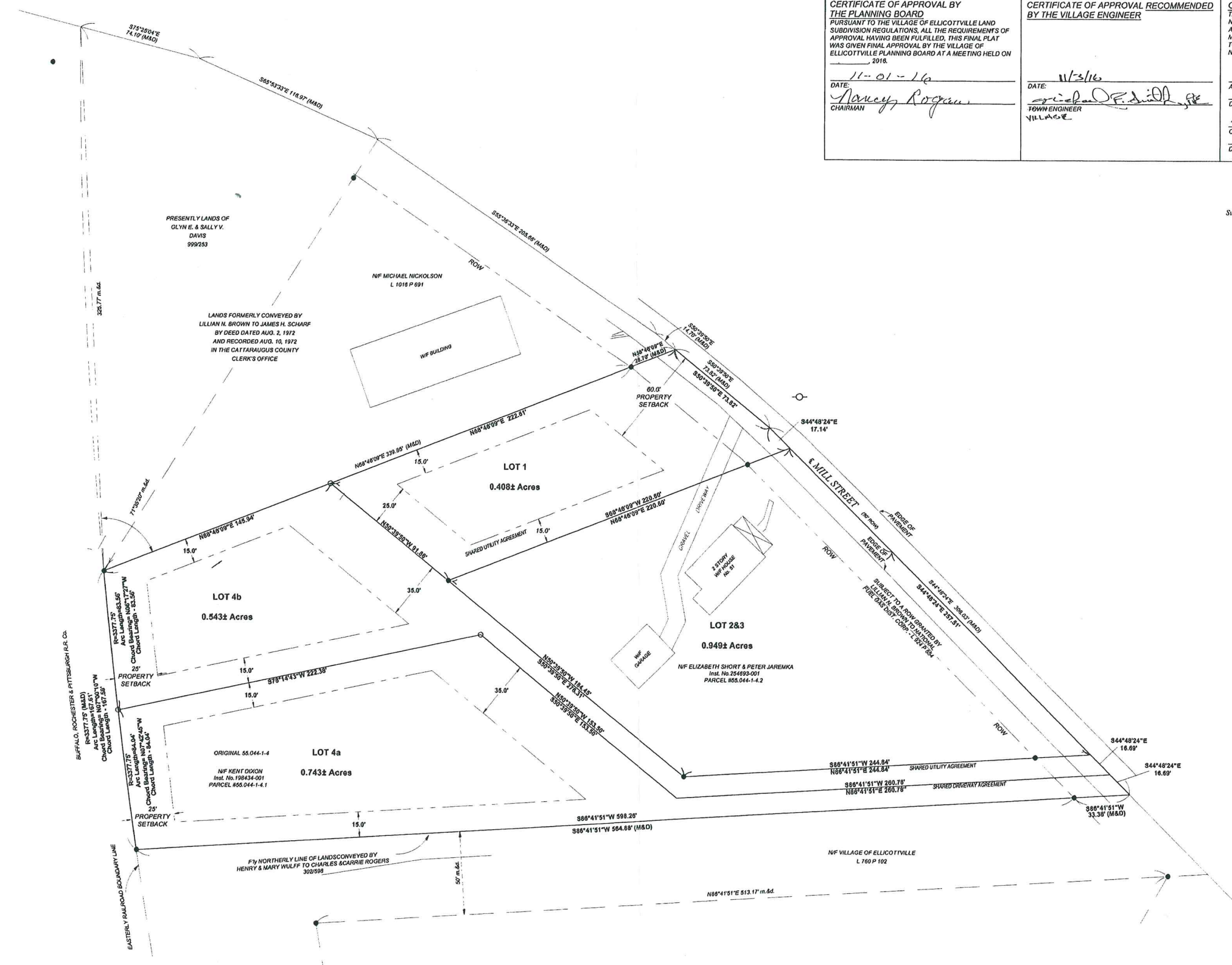
MDA Consulting Engineers, PLLC
1450 Main Street
Ellicottville, NY 14751
Phone: (716) 699-4600
Fax: (716) 699-4605

Clear Creek Land Surveying, LLC
William J. Tucker, II PLS #050369
PO Box 433
Springville, NY 14141
ph. 716-592-5800
Job No. 13-032-01; 16-008 Book: LL



MINOR SUBDIVISION
PLAT FOR
VOGT MILL STREET
DEVELOPMENT
Part of Lot 32 T4 R6 HLC
Village & Town of Ellicottville
County of Cattaraugus, New York

DATE	10-22-2016
SCALE	1" = 30'
PROJECT NAME	VOGT MILL STREET
JOB NO.	1554(MQA), 13-032 (CCL5) ABT (MDA), MSH (CCL5)
SHEET NO.	1
	OF 3



RESIDENTIAL ZONING - MEDIUM DENSITY (MD)

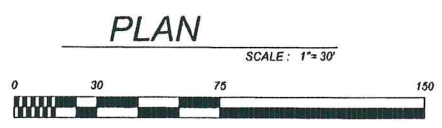
LOT SIZE	12,500 SF MIN.
LOT WIDTH	80' MIN.
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15', 30' TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
FLOOR AREA RATIO	0.25 PER LOT
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

Survey Notes:
Only copies of this survey marked with an original signature and an original embossed or ink seal are the product of the land surveyor. This plan NOT valid with an Affidavit of No Change.
This survey was prepared without the benefit of an up to date abstract of title and is subject to any state of facts revealed by an examination of such. Lands on this survey are based on the references as shown and a boundary survey map and CAD File by Michael Rogers, PLS dated April 11, 2011 provided by Mark D. Altanella, P.C.
Distances shown are measured, unless otherwise indicated. Symbols shown are not to scale. Only visible utility services and/or encumbrances were located and shown.
Remove not the ancient landmark, which thy fathers have set. Prov. 22:28
Cursed be he that removeth his neighbor's landmark. And the people shall say Amen. Deuteronomy 27:17

Survey Legend:
● IP Found
○ Set 1/2" Rebar w/cap
⊕ Utility Pole
D Deeded
M Measured

UNAUTHORIZED ALTERATION OR ADDITION TO THIS ENGINEERING DRAWING IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

266805-001



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: _____ Title: _____		