

**VILLAGE OF ELLICOTTVILLE**  
SUBDIVISION DEVELOPMENT FORM

**APPLICATION FOR FINAL PLAT APPROVAL**

**Applicant Information**

Applicant Name: Phil Vogt -7439 Properties, LLC

Company or Trade Name (if any): \_\_\_\_\_

Mailing Address: P.O.Box 637 Ellicottville, NY 14731

Phone Number: 716-870-1836 Email: philip7438@gmail.com

Project Engineer: Carl Calarco, P.E.

Mailing Address: P.O.Box 693 Ellicottville, NY 14731

Phone Number: 716-244-8313 Email: crcalarco@verizon.net

Project Surveyor: Clear Creek Land Surveying, LLC William J. Tucker, II PLS

Mailing Address: 7449 Mill Street Canadea, NY 14717-8753

Phone Number: 716-592-5800 Email: office@clearcreekls.com

Other Contact (Name & Title): \_\_\_\_\_

Phone Number: \_\_\_\_\_ Email: \_\_\_\_\_

**Project Description**

Subdivision Name: Lot 4b Vogt Mill Street Development

Address (or location): Lot 4b 41 Mill Street, Ellicottville, NY 14731

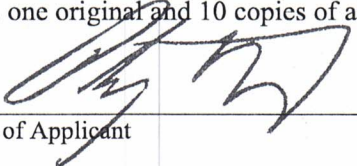
Real Property Tax Map Number: 55.044-1-4.1 Parcel Size: 0.543 (acres)

Zoning District(s): Medium Density Number of Proposed Lots: one

**Final Approvals Have Been Obtained from other Agencies (please attach)**

County Health Department (public water supply or septic system)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	Approvals have been granted- this is an amendment to the conditions of approval
NYSDEC (sanitary sewer)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	
DPW Superintendent / County DPW / NYSDOT	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	
Village Engineer	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	

**Attachments** – Attach all items listed in Article 2, Section 6(B) and Section 6(C) of the Village of Ellicottville Subdivision Regulations unless the Planning Board has waived one or more submittal requirements. At a minimum, one original and 10 copies of all plans, documents and other application materials are required.

 \_\_\_\_\_ 12-19-2023  
Signature of Applicant \_\_\_\_\_ Date

<b>For Village Use Only:</b>	
Date Received: _____	File Number: _____ (from sketch plan application)
Application Fee: _____	Rec'd By: _____ on _____ (Date)

**VILLAGE OF ELLICOTTVILLE**  
SUBDIVISION DEVELOPMENT FORM

**APPLICATION FOR FINAL PLAT APPROVAL**

**Applicant Information**

Applicant Name: Joan and Rick Graci

Company or Trade Name (if any): \_\_\_\_\_

Mailing Address: 7 Promise Lane Buffalo, NY 14221

Phone Number: 716-481-1789 Email: rick712prestige@gmail.com

Project Engineer: Carl Calarco, P.E.

Mailing Address: P.O.Box 693 Ellicottville, NY 14731

Phone Number: 716-244-8313 Email: crcalarco@verizon.net

Project Surveyor: Clear Creek Land Surveying, LLC William J. Tucker, II PLS

Mailing Address: 7449 Mill Street Caneadea, NY 14717-8753

Phone Number: 716-592-5800 Email: office@clearcreekls.com

Other Contact (Name & Title): \_\_\_\_\_

Phone Number: \_\_\_\_\_ Email: \_\_\_\_\_

**Project Description**

Subdivision Name: Lot 4a Vogt Mill Street Development

Address (or location): Lot 4a 41 Mill Street, Ellicottville, NY 14731

Real Property Tax Map Number: 55.044-1-4.3 Parcel Size: 0.743 (acres)

Zoning District(s): Medium Density Number of Proposed Lots: one

**Final Approvals Have Been Obtained from other Agencies (please attach)**

County Health Department (public water supply or septic system)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	Approvals have been granted- this is an amendment to the conditions of approval
NYSDEC (sanitary sewer)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	
DPW Superintendent / County DPW / NYSDOT	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	
Village Engineer	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	

**Attachments** – Attach all items listed in Article 2, Section 6(B) and Section 6(C) of the Village of Ellicottville Subdivision Regulations unless the Planning Board has waived one or more submittal requirements. At a minimum, one original and 10 copies of all plans, documents and other application materials are required.

\_\_\_\_\_  
Signature of Applicant

12-19-2023  
\_\_\_\_\_  
Date

<b>For Village Use Only:</b>	
Date Received: _____	File Number: _____ (from sketch plan application)
Application Fee: _____	Rec'd By: _____ on _____ (Date)

## Final Plat Submission Requirements

The final subdivision plat shall be clearly and legibly drawn in ink on mylar or tracing cloth on sheets either 20 inches by 20 inches or by 20 inches by 40 inches. The scale shall be 100 feet to the inch or larger. Where necessary, the plat may be on several sheets accompanied by an index sheet showing the entire subdivision. For large subdivisions, the final plat may be submitted for approval progressively in contiguous sections satisfactory to the Planning Board. The final plat, which must be prepared and certified by a professional engineer or land surveyor, shall show, in addition to the information approved on the preliminary plat (as required by Article II, Section 4), the following:

- 1) Primary control points, approved by the Village Engineer, or descriptions and “ties” to such control points, to which all dimensions, angles, bearings and similar data on the plat shall be referred.
- 2) Tract boundary lines, right-of-way lines of streets, easements and other rights-of-way, and property lines of lots; with accurate dimensions, bearings or deflection angles and radii, arcs and central angles of all curves.
- 3) Purpose for which lots are dedicated or reserved.
- 4) Location and description of monuments (shown thus “X”) and lot corner markers (shown thus “O”).
- 5) Adjoining properties shall be clearly indicated and shall include owner’s name and recording data of relevant deeds.
- 6) Certification of title showing the state of title of the parcel proposed to be subdivided and that the applicant has the authority to act in the capacity of the subdivider.
- 7) Water supply and sewage disposal facilities, together with locations and other necessary details with certification of approval by the Cattaraugus County Health Department. Where any water or sewer line, water plant or sewage treatment plant is to be installed by the subdivider and/or municipality outside existing districts, the establishment or enlargement of a water district and/or a sewer district may be required at the expense of the subdivider. The formation of private utility companies, if any shall be in accordance with the Transportation Corporations Law in New York State.
- 8) Offers of cession by owner dedicating streets, rights-of-way and any sites proposed for public uses; and final agreements covering the improvement and maintenance of unceded public spaces and areas designated for common use and/or ownership and the conditions and time limits, if any, applying to site reservations.
- 9) Title or name under which subdivision will be filed, scale, north point, and date.
- 10) Assurance from each public utility company whose facilities are proposed to be installed, in writing, addressed to the Planning Board, stating that such public utility company has made or shall make the installations necessary for the furnishing of its services in accordance with the approved construction detail sheet. This letter shall specify the time when service will be available. Locations of such public utilities are subject to the review and approval of the Planning Board.
- 11) Other certificates, affidavits, endorsements, protective covenants, homeowner association application and report filed with NYS Attorney General’s office or other agreements as may be required by the Planning Board or the Village attorney in the enforcement of these regulations.
- 12) Pursuant to Section 7-728 of NYS Village Law, the Planning Board shall require all necessary and appropriate improvements including but not limited to roads, sewers, water, and drainage controls to be made to standards and requirements of the appropriate Village Officials or Departments. If improvements are not complete prior to final plat approval a performance bond sufficient to cover the full cost of the improvements, as estimated by the Village, shall be provided by the applicant prior to obtaining a signature on the final plat. In such case, final plat approval shall be granted conditional to the posting of the bond.

Village of Ellicottville  
1 West Washington Street  
P.O. Box 475  
Ellicottville, NY 14731  
(716) 699-4636

**NOTICE OF DECISION  
VILLAGE OF ELLICOTTVILLE  
PLANNING BOARD**

**NOTICE OF DECISION** in the matter of PB-2016-09, applications by Phil Vogt for a Minor Subdivision to subdivide one existing lot into two new lots and Special Use Permit with Site Plan Review in order to construct three two-dwelling structures (duplexes) on vacant land along Mill Street, identified as tax map parcel 55.044-1-4.1

**PLEASE TAKE NOTICE** that on October 11, 2016 the Village of Ellicottville Planning Board, reviewed applications and plans dated through September 26, 2016.

**PLEASE TAKE FURTHER NOTICE** that on October 11, 2016 the Village of Ellicottville Planning Board, tabled the review of Architectural Design and Landscape Plan.

**PLEASE TAKE FURTHER NOTICE** that on October 11, 2016 the Village of Ellicottville Planning Board determined that the proposed actions (Minor Subdivision, Special Use Permit and Site Plan Approval) for the proposed duplex development will not have a significant impact on the environment when compared to the criteria listed in Part 617.7 and to issue a Negative Declaration.

**PLEASE TAKE FURTHER NOTICE** that the Planning Board moved to determine that the subdivision of Lot 4 of the Kent Dixon Subdivision into Lots 4a and 4b is a Minor Subdivision in accordance with Article II, Section 2 of the Subdivision Regulations and to grant a Special Use Permit and Site Plan Approval in order to construct one duplex structure on each of 3 lots on t.m.p. 55.044-1-4.1 as depicted on plans and applications revised through September 26, 2016. This approval is granted with the following conditions and modifications:

- 1) Each building and lot combination shall remain as approved, and the duplex structures cannot be divided in ownership in the future.
- 2) The owners shall execute the shared driveway/utility agreements on lots 4a and 4b.
- 3) The subdivision plan (sheet no.1) be modified with a note stating that lot 4a shall not be further subdivided.

Issuance of a building permits and subsequent construction is subject to review and approval of the building plans and inspection by the Village Code Enforcement Officer. A Certificate of Occupancy will not be issued unless all conditions are met.

Village of Ellicottville  
Planning Board

Village of Ellicottville  
Village Clerk

By: Nancy Rogan date: 10-17-16

by: Mary J. Klahn date: 10-17-16

Ellicottville 55.044-1-4.1

**CERTIFICATE OF APPROVAL BY THE PLANNING BOARD**  
 PURSUANT TO THE VILLAGE OF ELICOTTVILLE LAND SUBDIVISION REGULATIONS, ALL THE REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN FINAL APPROVAL BY THE VILLAGE OF ELICOTTVILLE PLANNING BOARD AT A MEETING HELD ON 2016.

DATE: 11-01-16  
 Nancy Rogan  
 CHAIRMAN

**CERTIFICATE OF APPROVAL RECOMMENDED BY THE VILLAGE ENGINEER**

DATE: 11-3-16  
 Michael J. DiStasio, Jr.  
 TOWN ENGINEER  
 VILLAGE

**OWNERS CERTIFICATION**  
 THE OWNER OF LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH AN AUTHORIZED AGENT CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL FIELD SURVEY, THAT ALL STATE, TOWN, AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID.

AGENT: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 DATE: 10/25/2016

NO.	REVISION	DATE
1	Sub-Lot 4a note	10/25/16
2		
3		
4		
5		
6		
7		

Note:  
 Sub-Lot 4a can not be further subdivided

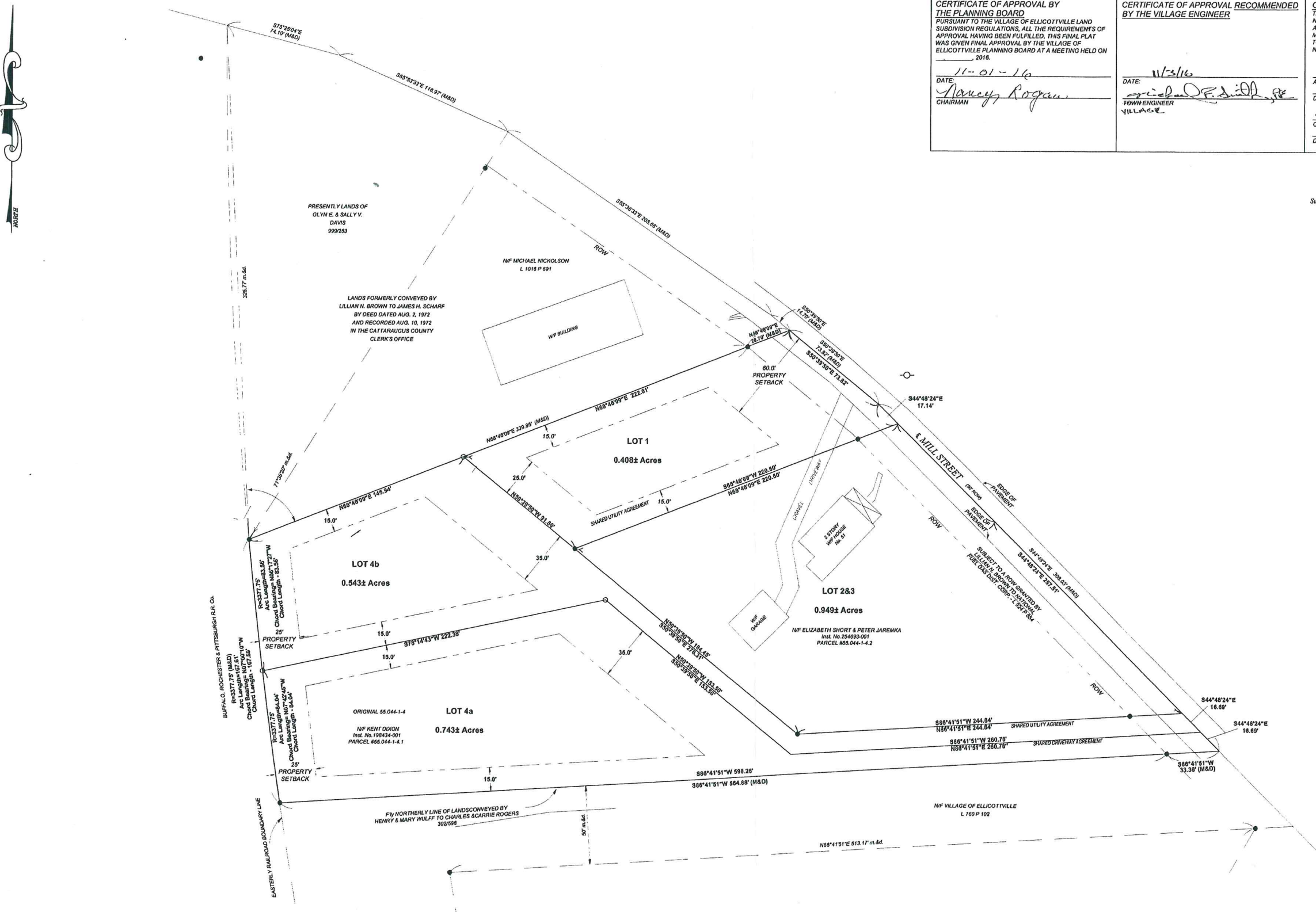
MDA Consulting Engineers, PLLC  
 4550 Main Street  
 Ellicottville, NY 14751  
 Phone: (716) 699-4600  
 Fax: (716) 699-4605

Clear Creek Land Surveying, LLC  
 William J. Tucker, II PLS #050369  
 PO Box 433  
 Springville, NY 14141  
 ph. 716-592-5800  
 Job No. 13-032-01; 16-008 Book: LL



MINOR SUBDIVISION  
 PLAT FOR  
 VOGT MILL STREET  
 DEVELOPMENT  
 Part of Lot 32 T4 R6 HLC  
 Village & Town of Ellicottville  
 County of Cattaraugus, New York

DATE	10-22-2016
SCALE	1" = 30'
PROJECT NAME	VOGT MILL STREET
JOB NO.	1554(MDA), 13-032 (CCL5) ABT (MDA), MSH (CCL5)
SHEET NO.	1
	OF 3



**RESIDENTIAL ZONING - MEDIUM DENSITY (MD)**

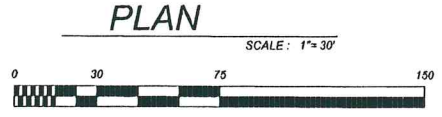
LOT SIZE	12,500 SF MIN.
LOT WIDTH	80' MIN.
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15', 30' TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
FLOOR AREA RATIO	0.25 PER LOT
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

**Survey Notes:**  
 Only copies of this survey marked with an original signature and an original embossed or ink seal are the product of the land surveyor. This plan NOT valid with an Affidavit of No Change.  
 This survey was prepared without the benefit of an up to date abstract of title and is subject to any state of facts revealed by an examination of such. Lands on this survey are based on the references as shown and a boundary survey map and CAD File by Michael Rogers, PLS dated April 11, 2011 provided by Mark D. Altanella, P.C.  
 Distances shown are measured, unless otherwise indicated. Symbols shown are not to scale. Only visible utility services and/or encumbrances were located and shown.  
 Remove not the ancient landmark, which thy fathers have set. Prov. 22:28  
 Cursed be he that removeth his neighbor's landmark. And the people shall say Amen. Deuteronomy 27:17

**Survey Legend:**  
 ● IP Found  
 ○ Set 1/2" Rebar w/cap  
 ⊕ Utility Pole  
 D Deeded  
 M Measured

UNAUTHORIZED ALTERATION OR ADDITION TO THIS ENGINEERING DRAWING IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

# 266805-001





# Property Description Report For: 41 Mill St, Municipality of V. Ellicottville

*No Photo Available*

<b>Status:</b>	Active	<b>Roll Section:</b>	Taxable
<b>Swis:</b>	043601	<b>Tax Map ID #:</b>	55.044-1-4.3
<b>Property Class:</b>	311 - Res vac land	<b>Site:</b>	RES 1
<b>In Ag. District:</b>	No	<b>Site Property Class:</b>	311 - Res vac land
<b>Zoning Code:</b>	02	<b>Neighborhood Code:</b>	36100 - Vil-South East
<b>School District:</b>	Ellicottville	<b>Total Assessment:</b>	2023 - \$48,000
<b>Total Acreage/Size:</b>	16.6 x 568	<b>Property Desc:</b>	
<b>Land Assessment:</b>	2023 - \$48,000	<b>Deed Page:</b>	5224
<b>Full Market Value:</b>	2023 - \$73,846	<b>Grid North:</b>	827807
<b>Equalization Rate:</b>	----		
<b>Deed Book:</b>	20222		
<b>Grid East:</b>	1126270		

## Area

<b>Living Area:</b>	0 sq. ft.	<b>First Story Area:</b>	0 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	0
<b>Finished Rec Room</b>	0 sq. ft.	<b>Finished Area Over Garage</b>	0 sq. ft.

## Structure

<b>Building Style:</b>	0	<b>Bathrooms (Full - Half):</b>	0 - 0
<b>Bedrooms:</b>	0	<b>Kitchens:</b>	0
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	0
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	0	<b>Overall Grade:</b>	
<b>Year Built:</b>		<b>Eff Year Built:</b>	

## Owners

Joan M Graci  
7 Promise Ln  
Bufalo NY 14221

## Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Addl. Parcels	Deed Book and Page
12/1/2022	\$74,000	220 - 2 Family Res	Land & Building	7439 Properties LLC	Yes	Yes	No	20222/5224

## Utilities

<b>Sewer Type:</b>	Comm/public	<b>Water Supply:</b>	Comm/public
<b>Utilities:</b>	Gas & elec	<b>Heat Type:</b>	0
<b>Fuel Type:</b>	0	<b>Central Air:</b>	No

## Improvements

Structure	Size	Grade	Condition	Year
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## Special Districts for 2023

Description	Units	Percent	Type	Value
FD360-Ellicottville fire	0	0%		0
WB360-Water benefit	0	0%		0
WD361-Water 1	0	0%		0

## Taxes

Year	Description	Amount
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**\* Taxes reflect exemptions, but may not include recent changes in assessment.**



# Property Description Report For: 41 Mill St, Municipality of V. Ellicottville



**Total Acreage/Size:** 73.8 x 368.5  
**Land Assessment:** 2023 - \$33,000  
**Full Market Value:** 2023 - \$655,385  
**Equalization Rate:** ----  
**Deed Book:** 28358  
**Grid East:** 1126280

**Status:** Active  
**Roll Section:** Taxable  
**Swis:** 043601  
**Tax Map ID #:** 55.044-1-4.1  
**Property Class:** 220 - 2 Family Res  
**Site:** RES 1  
**In Ag. District:** No  
**Site Property Class:** 220 - 2 Family Res  
**Zoning Code:** 02  
**Neighborhood Code:** 36100 - Vil-South East  
**School District:** Ellicottville  
**Total Assessment:** 2023 - \$426,000  
  
**Property Desc:**  
**Deed Page:** 8001  
**Grid North:** 827930

## Area

<b>Living Area:</b> 2,920 sq. ft.	<b>First Story Area:</b> 1,838 sq. ft.
<b>Second Story Area:</b> 1,082 sq. ft.	<b>Half Story Area:</b> 0 sq. ft.
<b>Additional Story Area:</b> 0 sq. ft.	<b>3/4 Story Area:</b> 0 sq. ft.
<b>Finished Basement:</b> 636 sq. ft.	<b>Number of Stories:</b> 2
<b>Finished Rec Room:</b> 0 sq. ft.	<b>Finished Area Over Garage:</b> 0 sq. ft.

## Structure

<b>Building Style:</b> Duplex	<b>Bathrooms (Full - Half):</b> 4 - 2
<b>Bedrooms:</b> 4	<b>Kitchens:</b> 2
<b>Fireplaces:</b> 2	<b>Basement Type:</b> Full
<b>Porch Type:</b> Porch-covered	<b>Porch Area:</b> 224.00
<b>Basement Garage Cap:</b> 2	<b>Attached Garage Cap:</b> 601.00 sq. ft.
<b>Overall Condition:</b> Good	<b>Overall Grade:</b> Good
<b>Year Built:</b> 2016	<b>Eff Year Built:</b>

## Owners

7439 Properties, LLC  
 P.O. Box 637  
 Ellicottville NY 14731



## Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Add. Parcels	Deed Book and Page
9/22/2017	\$1	311 - Res vac land	Land & Building	Dixon, Kent	No	No	No	28358/8001
11/7/2016	\$100,000	210 - 1 Family Res	Land & Building	Dixon, Kent	Yes	No	No	26680/5002

## Utilities

<b>Sewer Type:</b>	Comm/public	<b>Water Supply:</b>	Comm/public
<b>Utilities:</b>	Gas & elec	<b>Heat Type:</b>	Hot air
<b>Fuel Type:</b>	Natural Gas	<b>Central Air:</b>	Yes

## Improvements

Structure	Size	Grade	Condition	Year
Porch-covered	224.00 sq ft	Good	Good	2016
Porch-open/deck	210.00 sq ft	Good	Good	2016
Gar-1.0 att	601.00 sq ft	Good	Good	2016
Gar-1.0 att	601.00 sq ft	Good	Good	2016

## Special Districts for 2023

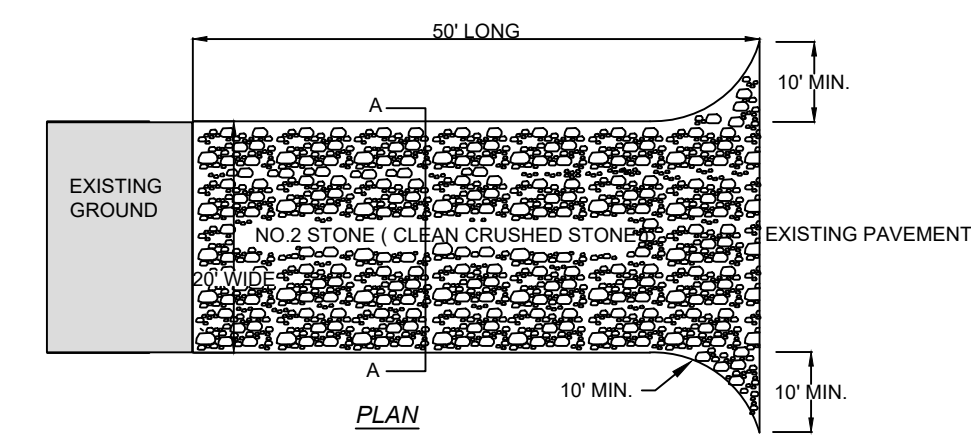
Description	Units	Percent	Type	Value
WB360-Water benefit	0	0%		0
FD360-Ellicottville fire	0	0%		0
WD361-Water 1	0	0%		0

## Taxes

Year	Description	Amount
2021	County	\$6,152.09
2020	County	\$6,602.53
2020	School	\$4,162.84
2020	Village	\$918.73

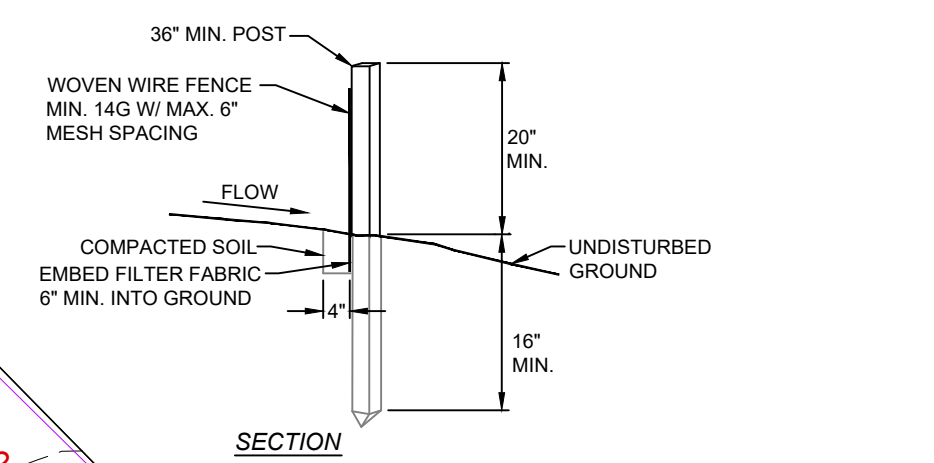
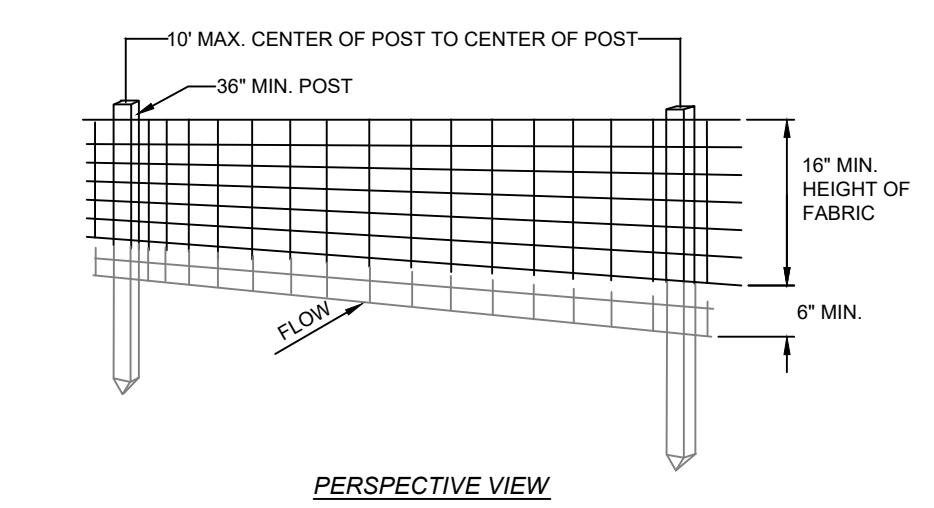
**\* Taxes reflect exemptions, but may not include recent changes in assessment.**

**CARL R. CALARCO, P.E.**  
 NYS LIC # 088460  
 P.O. BOX 693  
 ELLICOTTVILLE, NEW YORK 14731  
 716-244-8313  
 CRALARCO@VERIZON.NET



- NOTES:
1. STONE SIZE NO. 2 (CLEAN CRUSHED STONE)
  2. PLACE FILTER FABRIC OVER ENTIRE AREA PRIOR TO PLACING STONE.
  3. ALL SURFACE WATER FLOWING TOWARD CONSTRUCTION ENTRANCE TO BE PIPED ACROSS THE ENTRANCE.
  4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W. SHALL BE REMOVED IMMEDIATELY.
  5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM.

**STABILIZED CONSTRUCTION ENTRANCE**  
 N.T.S.



**SILT FENCE DETAIL**  
 N.T.S.  
 BY SITEWORK CONTRACTOR SW#6

**PROPOSED SITE PLAN**

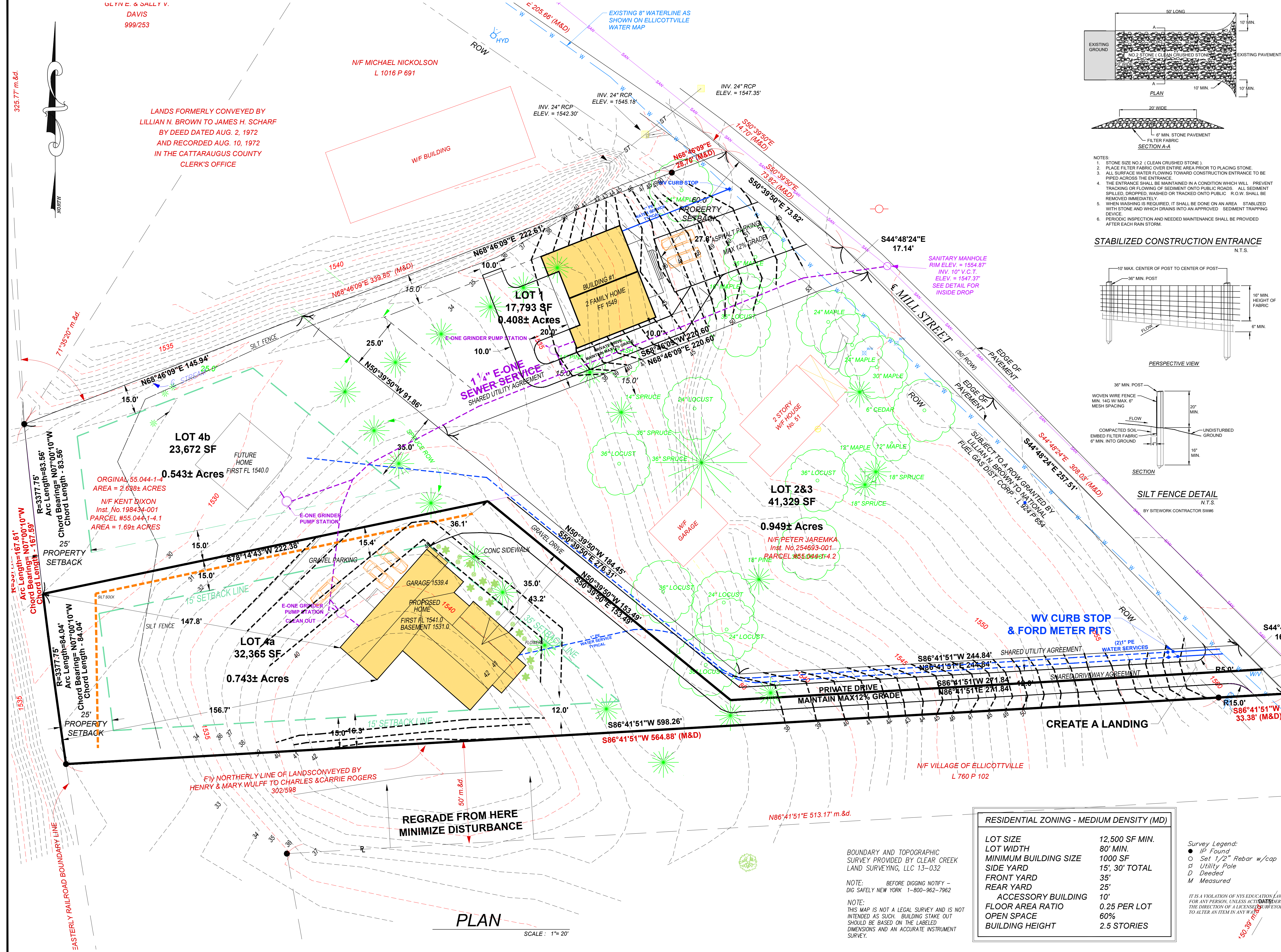
**AARON B. TILLER**  
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
 CAD SERVICES  
 5 PINE STREET  
 ALLEGANY, NEW YORK 14706  
 716-307-3684  
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN  
 FOR  
**GRACI RESIDENCE**  
 MILL STREET  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:

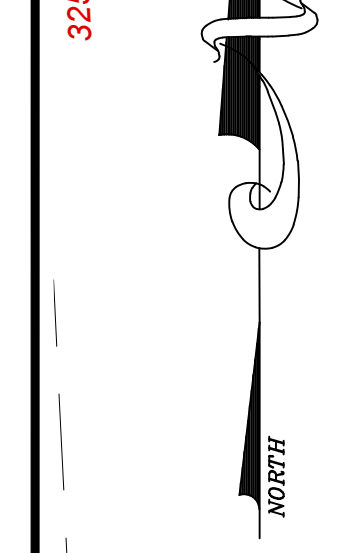
12-19-2023 REVIEWED BY:

DRAWING NO: **C101**



GLYN E. & SALLY V. DAVIS  
 999/253

325.77' m.&d.



LANDS FORMERLY CONVEYED BY LILLIAN N. BROWN TO JAMES H. SCHARF BY DEED DATED AUG. 2, 1972 AND RECORDED AUG. 10, 1972 IN THE CATTARAUGUS COUNTY CLERK'S OFFICE

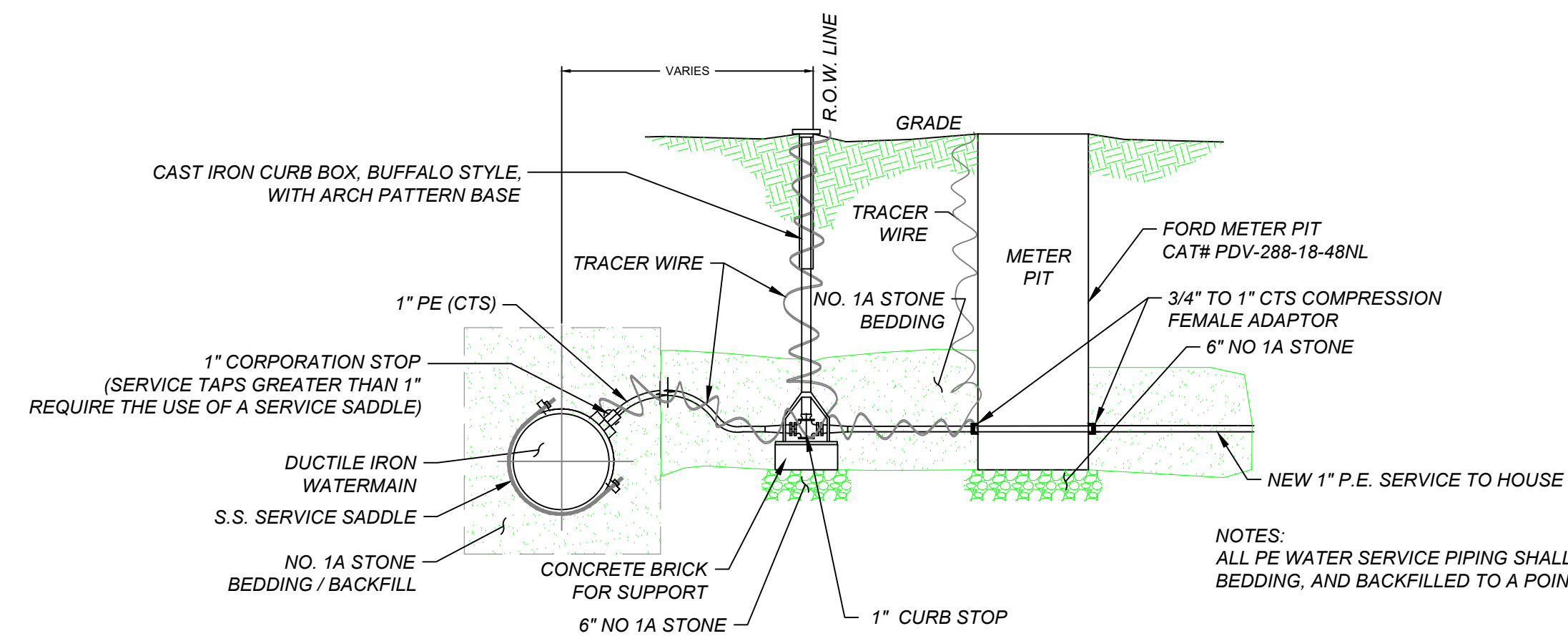
ORIGINAL 55.044-1-4 AREA = 2.638± ACRES  
 N/F KENT DIXON  
 Inst. No. 198434-001  
 PARCEL #55.044-1-4.1  
 AREA = 1.69± ACRES

PROPERTY SETBACK  
 R=3377.75' Arc Length=167.00'10"W  
 Chord Bearing= N07°00'10"W  
 Chord Length= 167.59'

PROPERTY SETBACK  
 R=3377.75' Arc Length=84.04'  
 Chord Bearing= N07°00'10"W  
 Chord Length= 84.04'

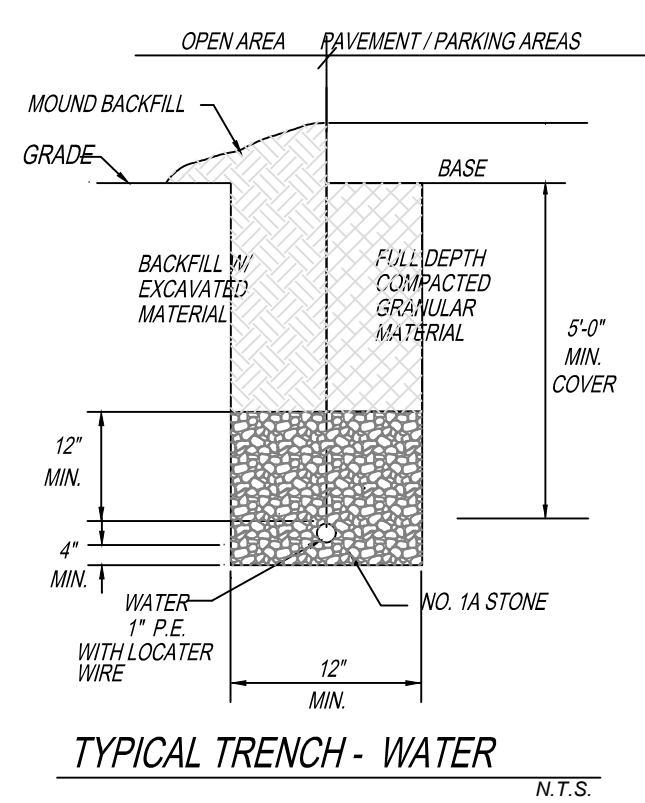
NORTHERLY LINE OF LANDS CONVEYED BY HENRY & MARY WULFF TO CHARLES & CARRIE ROGERS 302/598

EASTERLY RAILROAD BOUNDARY LINE

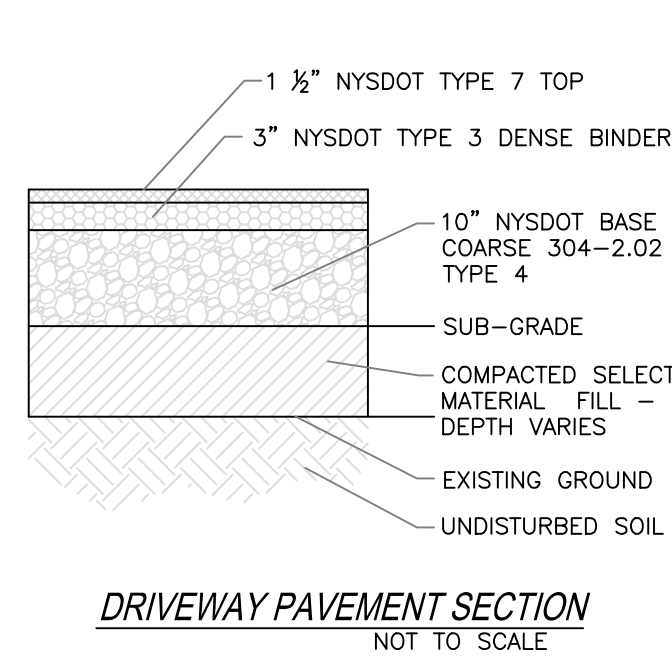


**TYPICAL NEW WATER SERVICE**  
(D.I. WATERMAIN) N.T.S.

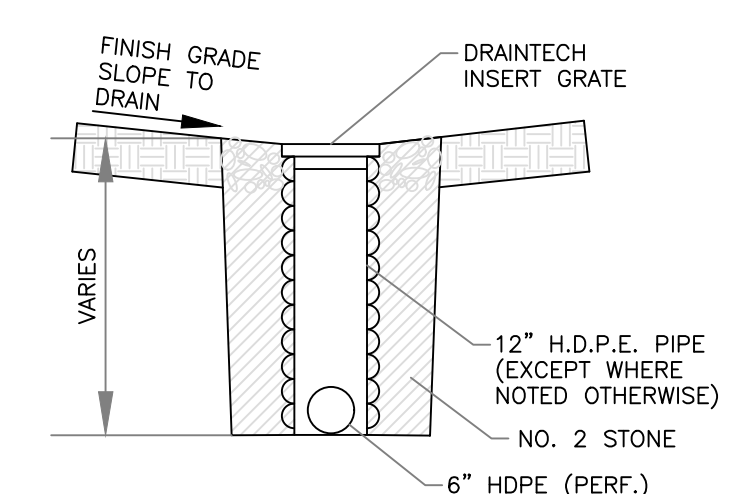
NOTES:  
ALL PE WATER SERVICE PIPING SHALL BE INSTALLED IN 6" OF NO. 1A STONE BEDDING, AND BACKFILLED TO A POINT 12" OVER THE PIPING WITH NO. 1A STONE



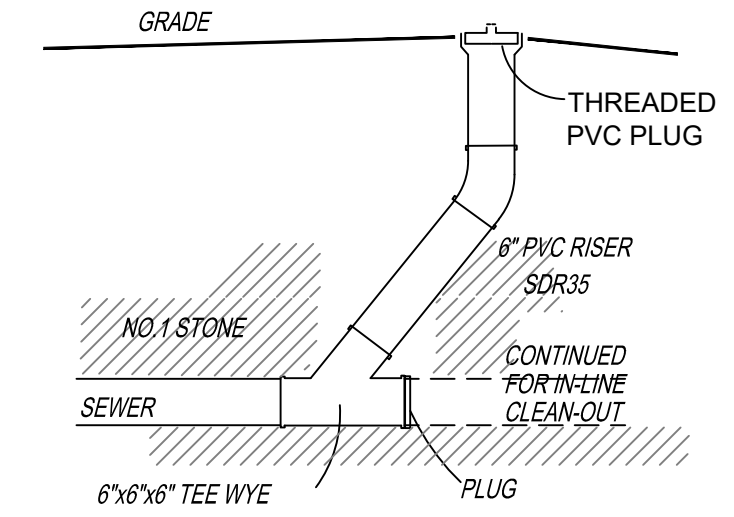
**TYPICAL TRENCH - WATER**  
N.T.S.



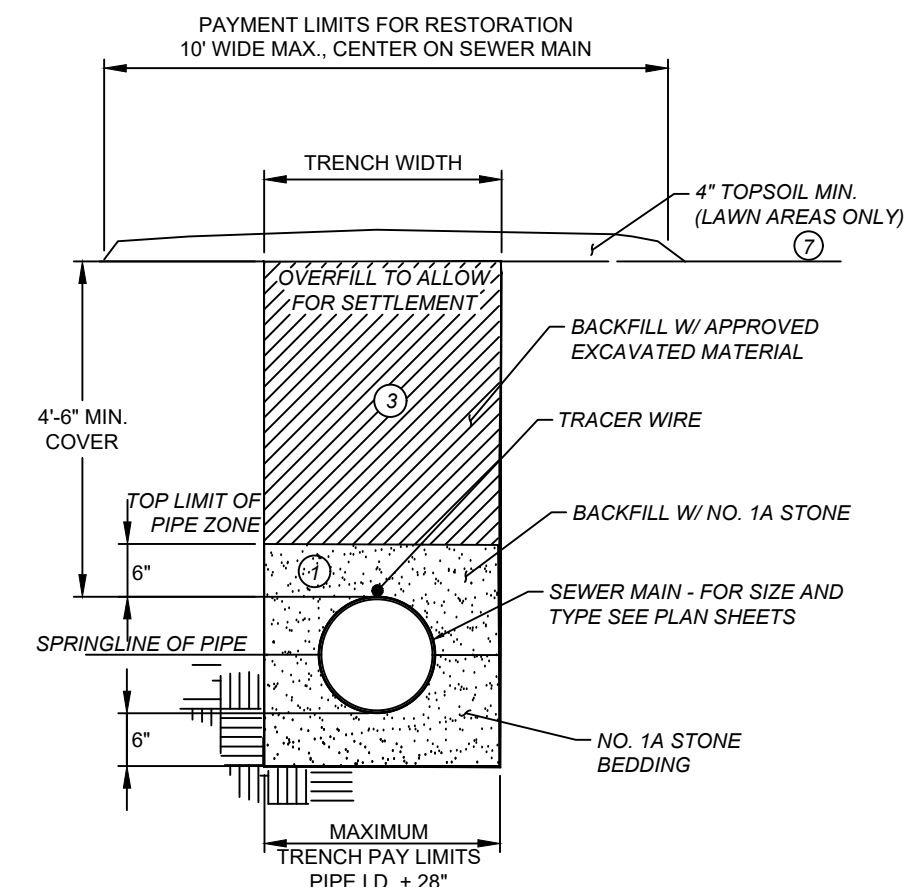
**DRIVEWAY PAVEMENT SECTION**  
NOT TO SCALE



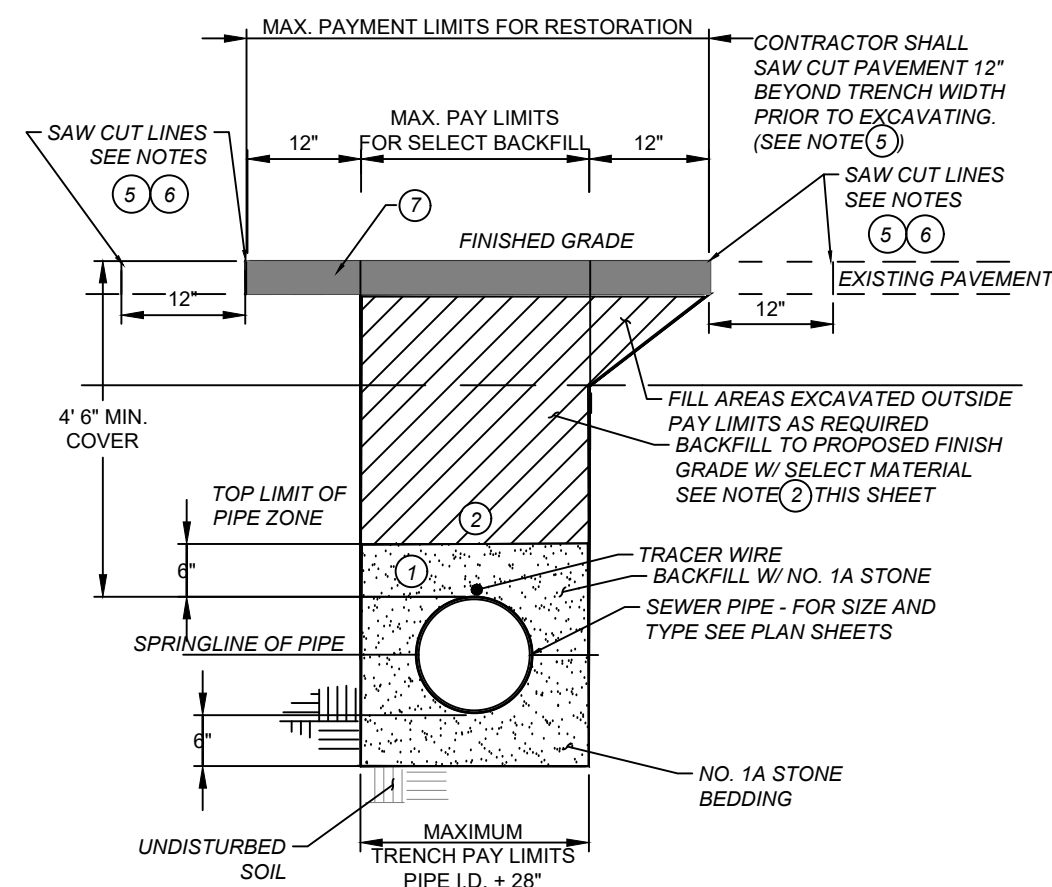
**CLEAN-OUT / LAWN DRAIN**  
NOT TO SCALE



**STORM CLEAN-OUT**  
N.T.S.

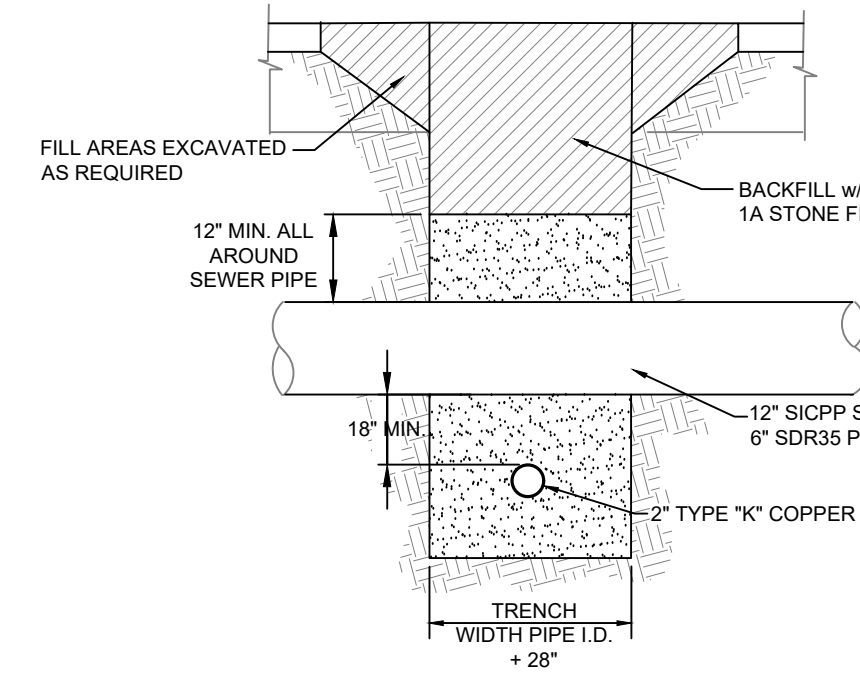


**TYPICAL OPEN CUT TRENCH - SEWER**  
(H.D.P.E. SEWER MAIN) N.T.S.

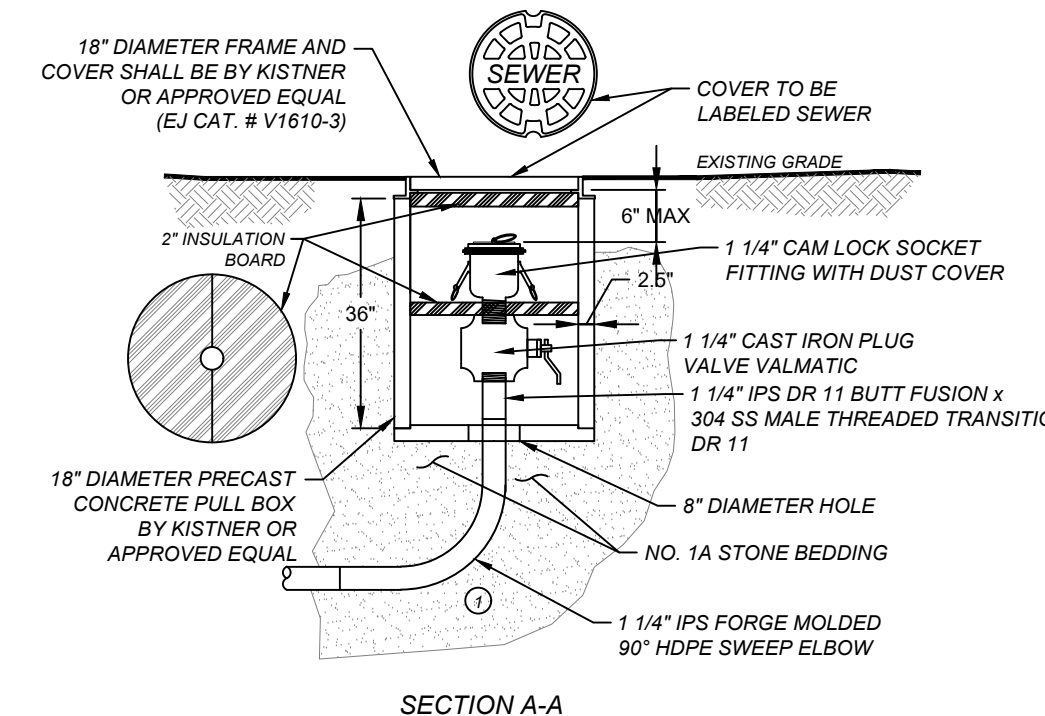


**TYPICAL OPEN CUT TRENCH - SEWER**  
(H.D.P.E. SEWER MAIN) N.T.S.

NOTE:  
WHEN HDPE PIPE IS INSTALLED BY BORING, PUSHING OR DIRECTIONAL DRILLING, THE TRACER WIRE SHALL BE FASTENED DIRECTLY TO THE PIPE. WHEN IN OPEN CUT, TRACER WIRE SHALL BE TAPED TO TOP OF PIPE BEFORE BACKFILL.

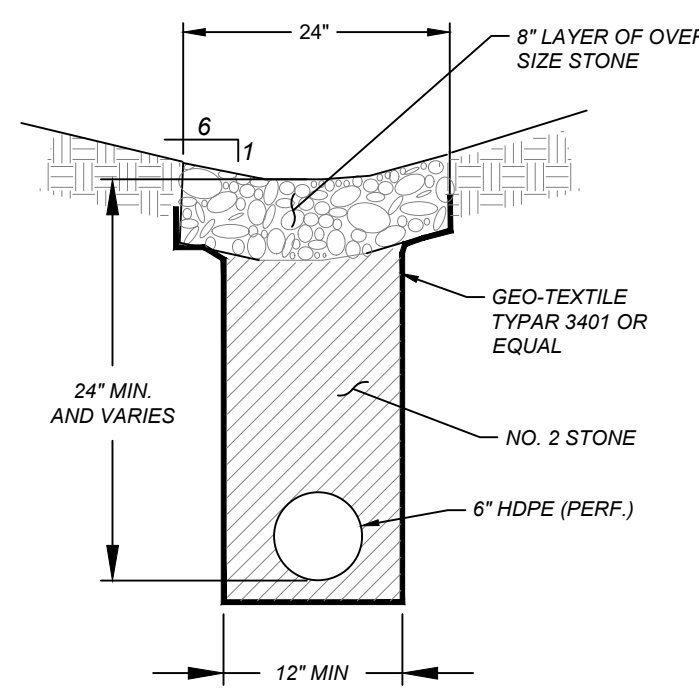


**TYPICAL SEWER / WATER CROSSING**  
N.T.S.



**1 1/4" CLEANOUT ASSEMBLY DETAIL**  
N.T.S.

NOTES:  
1. EACH FORCEMAIN CLEANOUT ASSEMBLY SHALL HAVE MECHANICALLY RESTRAINED JOINTS OR THRUST BLOCKING AS REQUIRED.  
2. WHEN SELECT BACKFILL MATERIAL IS REQUIRED, THE PAYMENT LIMIT SHALL EXTEND TO 12" FROM THE OUTSIDE FACE OF THE CLEANOUT PULL BOX ALL THE WAY AROUND THE CLEANOUT PULL BOX.



**FRENCH DRAIN DETAIL**  
N.T.S.

**GENERAL NOTES**

1. PIPE BEDDING MATERIAL  
NO. 1 CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH NYSDOT STANDARD SPECIFICATION 602.02 AND 702.02. THE BEDDING MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1/8 INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS AS SHOWN IN THE FOLLOWING TABLE. THE BEDDING SHALL BE COMPACTED IN 4-INCH LIFTS WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATIONS SECTION 60201 FOR BEDDING MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
1 INCH	100
12 INCH	80-90
18 INCH	91-9
NO. 200	0-1.0

2. SELECT MATERIAL BACKFILL  
SELECT BACKFILL MATERIAL SHALL BE CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH NYSDOT STANDARD SPECIFICATION 602.02 AND 702.02. THE BEDDING MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1/8 INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS AS SHOWN IN THE FOLLOWING TABLE. THE BEDDING SHALL BE COMPACTED IN 4-INCH LIFTS WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATIONS SECTION 60201 FOR BEDDING MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
1 INCH	100
12 INCH	80-90
18 INCH	91-9
NO. 200	0-1.0

3. EXCAVATED MATERIAL BACKFILL  
IF THE NATIVE EXCAVATED MATERIAL IS DEEMED TO BE SUITABLE PLACE AND COMPACT BY APPROVED MECHANICAL MEANS IN 8" LIFTS TO ACHIEVE 98% PROCTOR DENSITY. REMOVE ANY DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, AND ORGANIC MATTER WITHIN 2 FEET OF THE TOP OF PIPE.

PIPE SIZE	PERCENT PASSED BY SIEVE
2 INCH	100
12 INCH	80-90
NO. 40	0-6
NO. 200	0-0.5

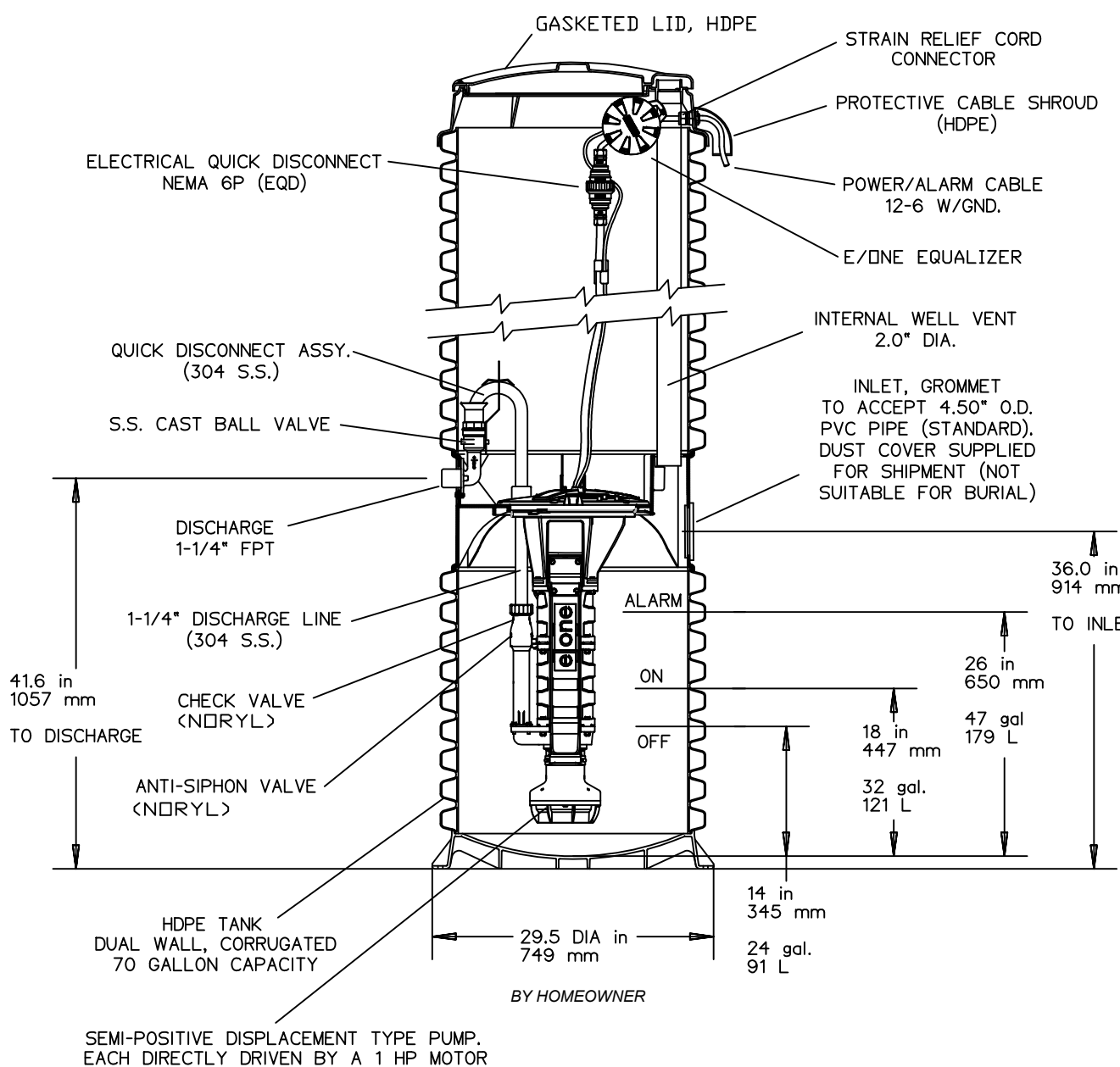
4. STONE FILL  
HYSDOT LIGHT, MEDIUM OR HEAVY STONE FILL (NYSDOT ITEM NO. 620.03, 620.04, OR 620.05) CONFORMING TO HYSDOT SECTION 620.02 WITH GEOTEXTILE FABRIC.

5. SAW CUTS  
SAW CUTS BY THE CONTRACTOR SHALL BE MADE WITH A SAW, PNEUMATIC SPADE OR OTHER MEANS APPROVED BY THE ENGINEER, PRIOR TO EXCAVATION. THE USE OF A "PIZZA CUTTER" OR SIMILAR DEVICE WILL BE PROHIBITED.

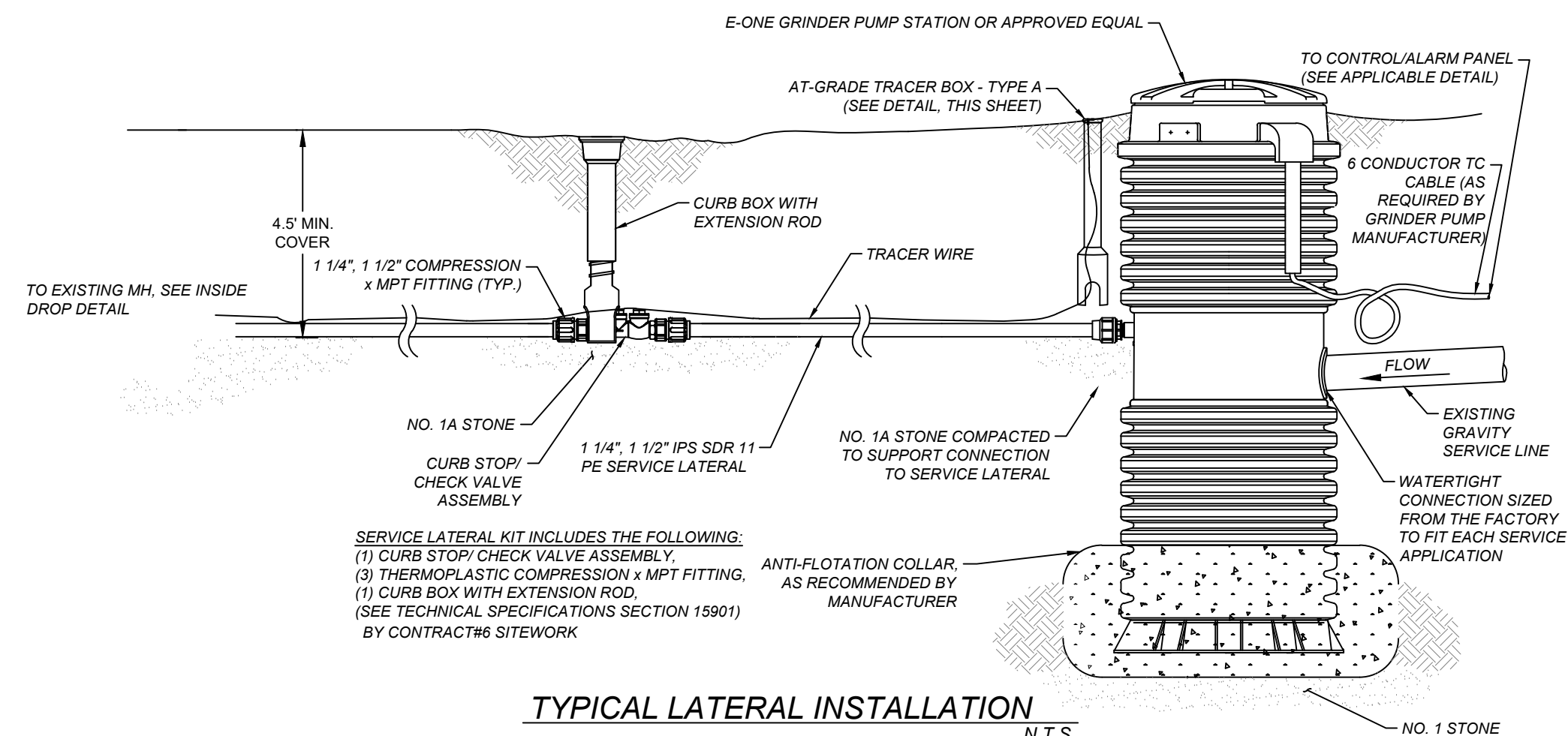
6. ADDITIONAL SAW CUTS  
THE CONTRACTOR SHALL BE RESPONSIBLE TO SAW CUT AN ADDITIONAL 12" ON EACH SIDE OF THE DISTURBED TRENCH AREA, BEYOND THE ORIGINAL SAW CUT, SO AS TO PROVIDE A SQUARE STRAIGHT EDGE. IF THE ORIGINAL EDGE HAS BEEN DAMAGED OR BROKEN OFF, NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR THIS WORK WHEN REQUIRED.

7. FINAL RESTORATION  
THE CONTRACTOR SHALL REFER TO THE FOLLOWING TABLE AND TO THE APPLICABLE TECHNICAL SPECIFICATION SECTIONS FOR FINAL RESTORATION OF ALL TYPES.

TYPE OF RESTORATION	TECHNICAL SPECIFICATION SECTION	NOTES
LAWN RESTORATION	620.01	1" OF TOPSOIL, 100 LBS PER ACRE
FIELD RESTORATION	620.02	1" OF TOPSOIL, 100 LBS PER ACRE
CONCRETE DRIVEWAY RESTORATION	620.03	SEE CONCRETE WORKING DETAIL, THIS SHEET
CONCRETE RESTORATION (SHOULDER)	620.04	SEE SHOULDER SECTIONS, THIS SHEET
ASPHALT RESTORATION (DRIVEWAY)	620.05	SEE PAVEMENT SECTIONS, THIS SHEET
SHOULDER RESTORATION	620.06	SEE SHOULDER SECTIONS, THIS SHEET



**E-ONE GRINDER PUMP**  
N.T.S.



**TYPICAL LATERAL INSTALLATION**  
N.T.S.

SERVICE LATERAL KIT INCLUDES THE FOLLOWING:  
(1) CURB STOP CHECK VALVE ASSEMBLY.  
(2) THERMOPLASTIC COMPRESSION x MPT FITTING.  
(3) CURB BOX WITH EXTENSION ROD.  
(SEE TECHNICAL SPECIFICATIONS SECTION 15901) BY CONTRACT#6 SITEWORK

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**PROPOSED  
DETAILS**

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ALLEGANY, NEW YORK 14706  
716-307-3684  
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RESIDENTIAL DESIGN FOR  
**GRACI RESIDENCE**  
MILL STREET  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:  
REVIEWED BY:  
12-19-2021

DRAWING NO: **C102**