

12-27-23

Kelly Fredrickson and Greg Kayer
Building inspection and coded enforcement
Town of Ellicottville & Village of Ellicottville

RE: 29 Elizabeth Building updated elevation for planning board review

Dear Kelly and Greg

Attached you will see the following.

- 1) check # 2053 in the amount of \$150.00 requested for Planning board review.
- 2) SK3 dated 8-31-23 showing the approved elevation.
- 3) SK3 dated 12-27-23 showing the revised elevation.
 - a. The addition of one transom window.
 - b. The revised pitch of the "connection" roof and the change in height of approximately 12" to 18" to allows access for the new addition to the old addition and the additional structural reinforcing required. This detail was not realized in the design
- 4) SK4 dated 8-31-23 showing the approved elevation.
- 5) SK4 dated 12-14-23 showing the revised elevation that includes.
 - a. The elimination to 2 transom windows that did not fit.
 - b. The elimination of the side porch that was part of the original house.
- 6) Drawings A5 showing approved plan with a note that required us to contract the design professional once the interior selective demolition was complete so they could give us directions on how to frame the connection to allow for snow load.
- 7) Drawing S3 dated 6-9-23 showing no structural work in the connection section of the original house.
- 8) Drawings S3 dated 12-27-23 showing the additional reinforcing and structural work that was required for snow load.

In short:

- 1) The connector section of the old house was in such structural disrepair we were given direction to remove and rebuild as detailed on updated structural drawings formalized on drawing S3 dated 12-27-23.
- 2) We made the changes to the window because the transom windows did not fit as designed and we elected to use that unused window in the mudroom.
- 3) Once we realized the connector section was completely rotted out we elected **not** to reinstall a new deck that was in the original design. Frankly to save some money that we did not expect to spend on the connector.

I can be reached by e-mail at Jeff@hayesbuild.com or on my cell at 716-955-9273

Best Regards



Jeff Hayes



ELEVATION 1
1/4"=1'-0"

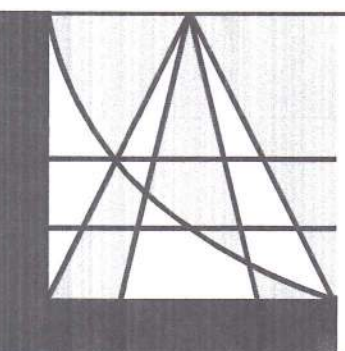


ELEVATION 2
1/4"=1'-0"

ORIGINAL

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED (FOR A LYDON), THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT.

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LYDON ARCHITECTURAL SERVICES, P.C.

PERMIT 3/29/2023
REVISIONS 6/9/2023 8/14/2023

SKETCH 8/31/2023

REVISED BUILDING ELEVATIONS - 1
ALTERATIONS LEVEL 2 & ADDITION
JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

SK3
22JHS1



ELEVATION 1
1/4"=1'-0"



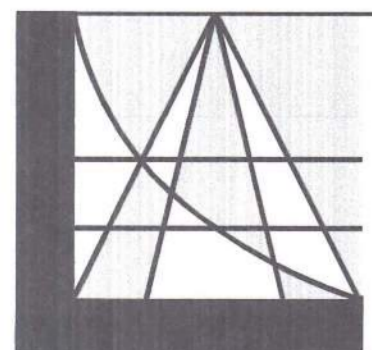
ELEVATION 2
1/4"=1'-0"

REVISED



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 REVISIONS 1 6/9/2023 2 8/14/2023 3 8/31/2023 4 12/27/2023

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SK3
22JHS1



ELEVATION 1
1/4"=1'-0"

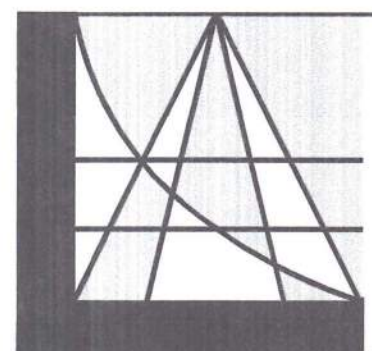
ORIGINAL



ELEVATION 2
1/4"=1'-0"

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ALTERATIONS LEVEL 2 & ADDITION
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SK4
22JHS1

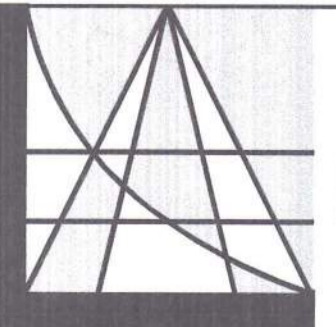


ELEVATION 1
1/4" = 1'-0"

REVISED



ELEVATION 2
1/4" = 1'-0"



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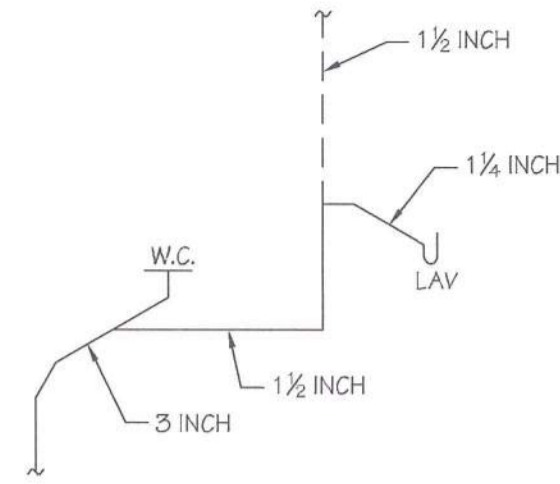
SK4
 22JHS1

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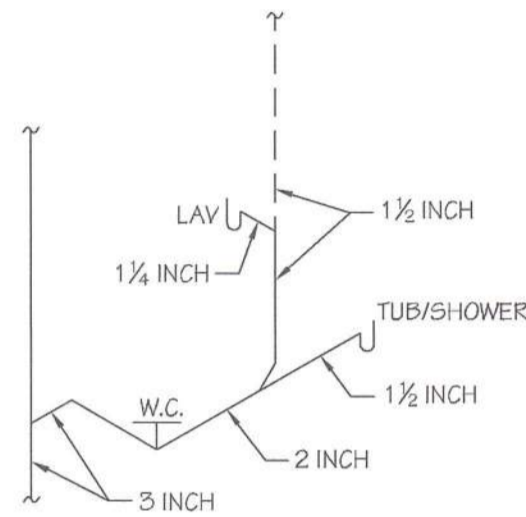
PLUMBING SYMBOL KEY



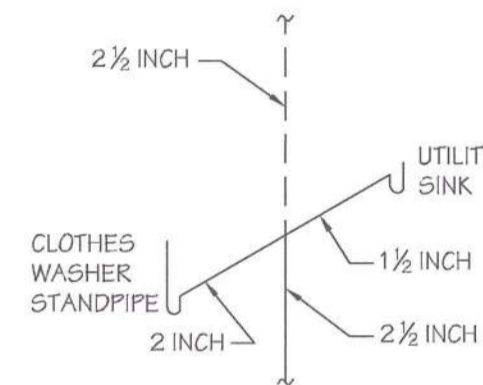
NOTE: SEE PLUMBING DATA BOXES THIS SHEET FOR PIPE SIZING



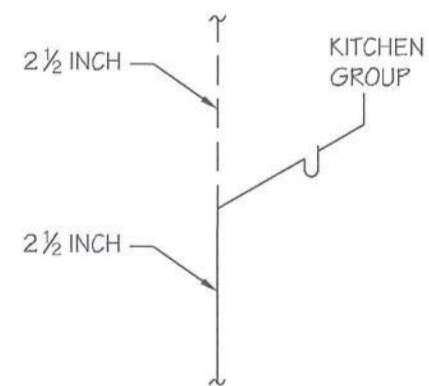
TYPICAL POWDER ROOM



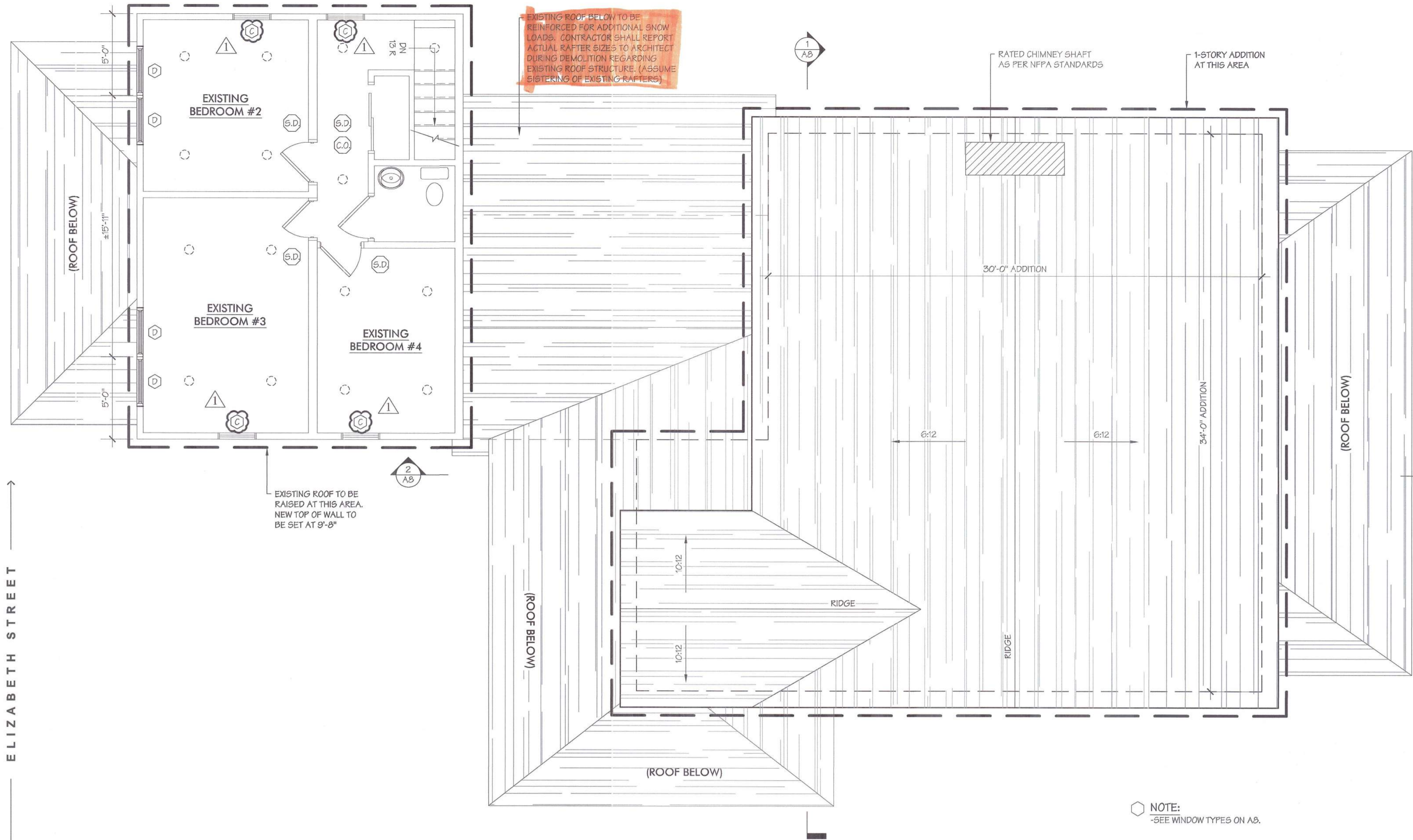
TYPICAL SINGLE-BATH



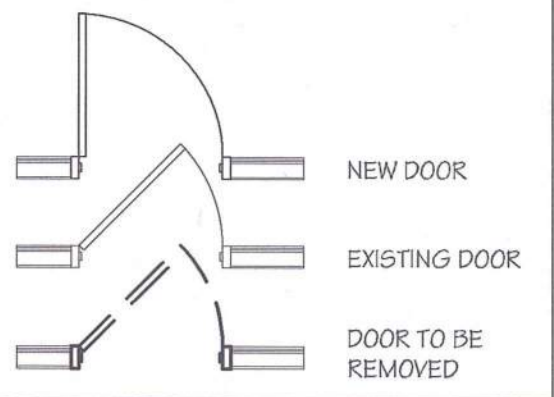
TYPICAL LAUNDRY RM.



TYPICAL KITCHEN



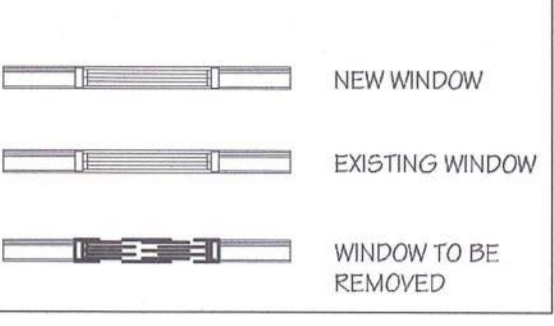
DOOR KEY



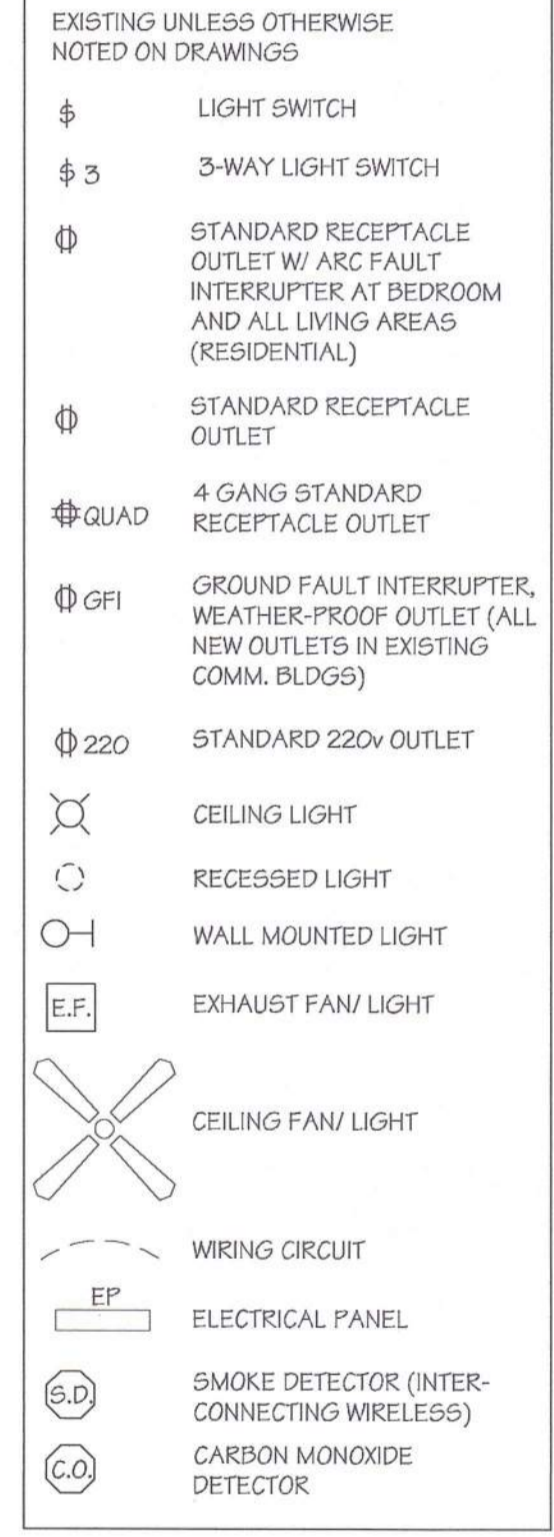
WALL KEY



WINDOW KEY



SYMBOL KEY



2nd FLOOR PLAN

1/4"=1'-0"

EXHAUST DATA:
 1504.3 OF THE 2020 RESIDENTIAL CODE OF NYS
 AIR EXHAUST OPENINGS SHALL TERMINATE AS FOLLOWS:
 1. NOT LESS THAN 3 FEET FROM PROPERTY LINES.
 2. NOT LESS THAN 3 FEET FROM GRAVITY AIR INTAKE OPENINGS, OPERABLE WINDOWS AND DOORS.
 3. NOT LESS THAN 10 FEET FROM MECHANICAL AIR INTAKE OPENINGS EXCEPT WHERE THE EXHAUST OPENING IS LOCATED NOT LESS THAN 3 FEET ABOVE THE AIR INTAKE OPENING. OPENINGS SHALL COMPLY WITH SECTIONS K303.5.2 AND K303.6.
 MINIMUM REQUIRED LOCAL EXHAUST RATE, PER TABLE M1505.4.4
 BATHROOM-TOILET ROOMS - MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FIXTURE CLEARANCES
 TOILET
 MIN. 21" AT FRONT
 6'-8" HEIGHT
 SHOWER
 30" X 30" X 6'-8"
 MIN. 30" X 24" DEEP AT FRONT
 SINK
 MIN. 21" AT FRONT
 CONTRACTOR TO VERIFY REQUIRED CLEARANCES IN THE FIELD

PLUMBING SUPPLY KEY
 1. 3/4" COLD WATER TO TOILET
 2. 1/2" COLD WATER TO BATHROOM SINK
 3. 1/2" HOT WATER TO BATHROOM SINK
 4. 1/2" COLD WATER TO KITCHEN SINK
 5. 1/2" HOT WATER TO KITCHEN SINK
 6. 1/2" COLD WATER TO REFRIGERATOR

PLUMBING SANITARY/ VENT KEY
 A. 3" WASTE FROM H.C. TOILET
 B. 3" VENT FROM H.C. TOILET
 C. 1-1/2" WASTE FROM BATHROOM SINK
 D. 1-1/2" VENT FROM BATHROOM SINK
 E. 2" WASTE FROM KITCHEN SINK
 F. 2" VENT FROM KITCHEN SINK

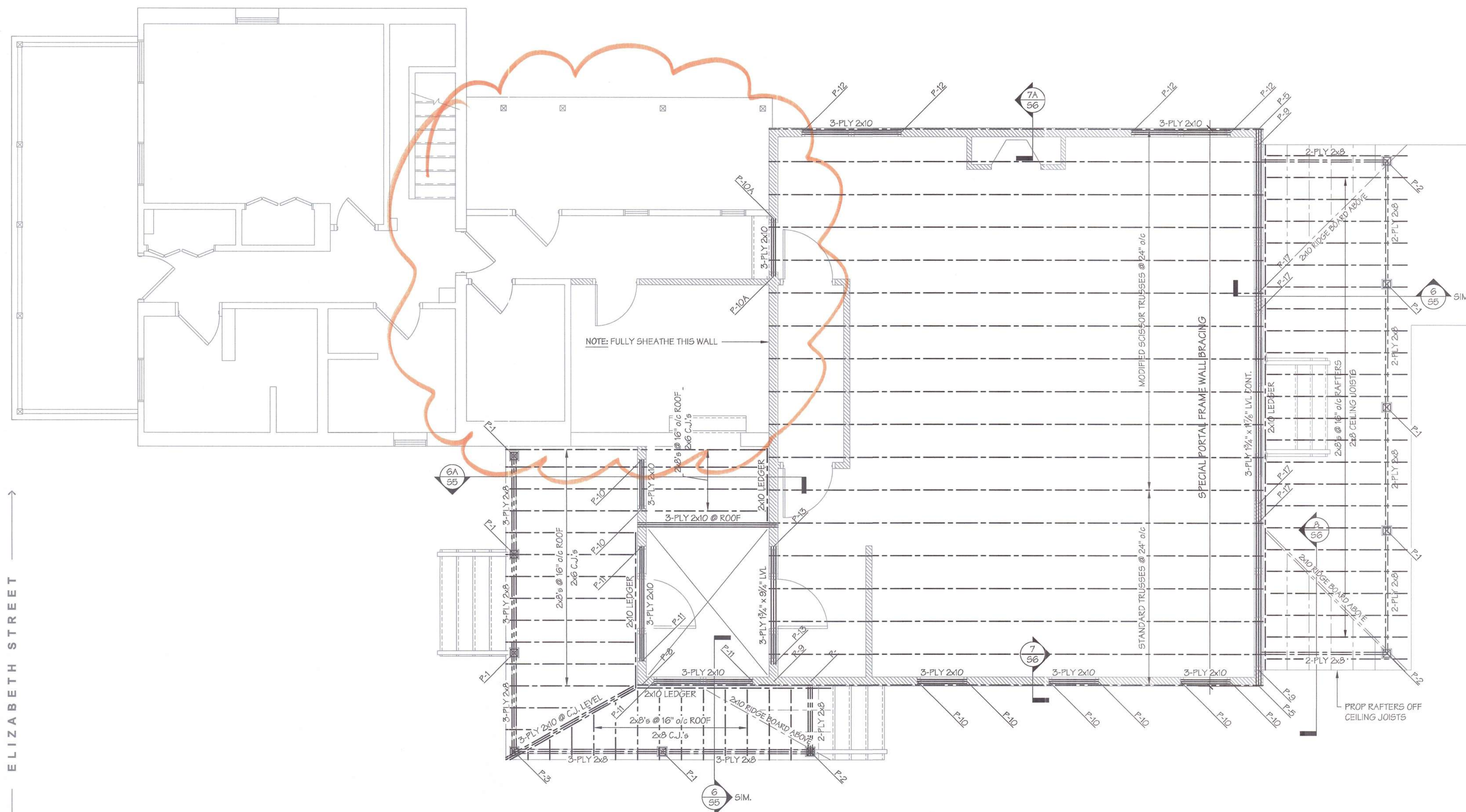
SECOND FLOOR ELECTRICAL NOTES:
 1. POWER
 1.1. 3 TV LOCATIONS TO BE REVIEWED WITH OWNER
 2. LIGHTING:
 2.1. 30 RECESSED LIGHT FIXTURES TO BE EVENLY SPACED (REVIEW WITH OWNER FOR INSTALLATION PLACEMENT)
 2.2. 3 FAN CEILING BOXES (CEILING FAN WILL BE PURCHASED BY OWNER AND INSTALLED BY ELECTRICIAN)
 2.3. 2 EXHAUST FANS WITH SEPARATE SWITCHES AT BATHROOMS
 2.4. ALLOW FOR 1 WALL SCONCE AT EACH BATHROOM
 2.5. ALLOW FOR 4 RECESSED LIGHT FIXTURES (EACH) AT EXISTING BEDROOMS #2, #3 AND #4
 2.6. ALLOW FOR 3 RECESSED LIGHT FIXTURES AT SECOND FLOOR HALLWAY
 2.7. INSTALL HARDWIRED SMOKE DETECTORS AT ALL SECOND FLOOR BEDROOMS AND PROVIDE HARDWIRED COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS AT HALLWAYS OUTSIDE OF BEDROOMS.

NOTE:
 -SEE WINDOW TYPES ON A5.

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TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED ARCHITECT, LYDON ARCHITECTURAL SERVICES, P.C. (LYDON) THE PLANS AND SPECIFICATIONS REFLECTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT.



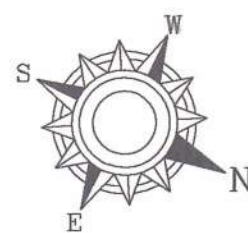
*NOTE: PROVIDE SIMPSON PLATED TRUSS CONNECTORS AT ALL INTERIOR PARTITIONS

*NOTE: ALL EXTERIOR WALLS TO HAVE METHOD CS-WSP WALL BRACING UNLESS NOTED OTHERWISE. EXTERIOR SHEATHING TO BE 1/2" PLYWOOD OR 7/16 OSB (APA RATED). MINIMUM NAILING OF 8d NAILS AT 6" o/c AT EDGES & 12" o/c IN FIELD.

POST SCHEDULE		
MARK	SIZE	REMARKS
P-1	6x6 SYP #2	ABW6GZ BASE PC6Z CAP
P-2	6x6 SYP #2	ABW6GZ BASE EPC6Z CAP
P-3	6x6 SYP #2	ABW6GZ BASE LCE4Z CAP
P-4	6x6 SYP #2	FNDN TO 1st FL. ABW6GZ BASE CC7GZ CAP
P-5	2-PLY 2x6 JACK (1) 2x6 KING	SQUASH BLOCK @ 1st FL. STHD14RJ HOLDDOWN SEE DET. 11
P-6	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL.
P-7	4x4 SYP #1	ABW44Z BASE BC4Z CAP
P-8	3-PLY 2x6 JACK 2-PLY 2x6 KING	-
P-9	2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL. STHD14RJ HOLDDOWN. MSTC29 STRAP SEE DET. 11
P-10	(1) 2x6 JACK (1) 2x6 KING	SQUASH BLOCKS @ P-10A
P-11	(1) 2x6 JACK 2-PLY 2x6 KING	-
P-12	(1) 2x6 JACK 3-PLY 2x6 KING	-
P-13	2-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-14	2-PLY 2x6 JACK 3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-15	3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-16	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-17	3-PLY 2x6	SQUASH BLOCK @ 1st FL. STHD14RJ HOLDDOWN MSTC29 STRAP SEE DETAIL 11

NOTE: ALL POSTS TO BE SYP #1/#2 OR HEM. FIR #2 (UNLESS NOTED OTHERWISE)
NAIL PLYS WITH 16d BOX NAILS @ 12" o/c

ELIZABETH STREET



2ND FLOOR FRAMING

1

1/4"=1'-0"

ORIGINAL

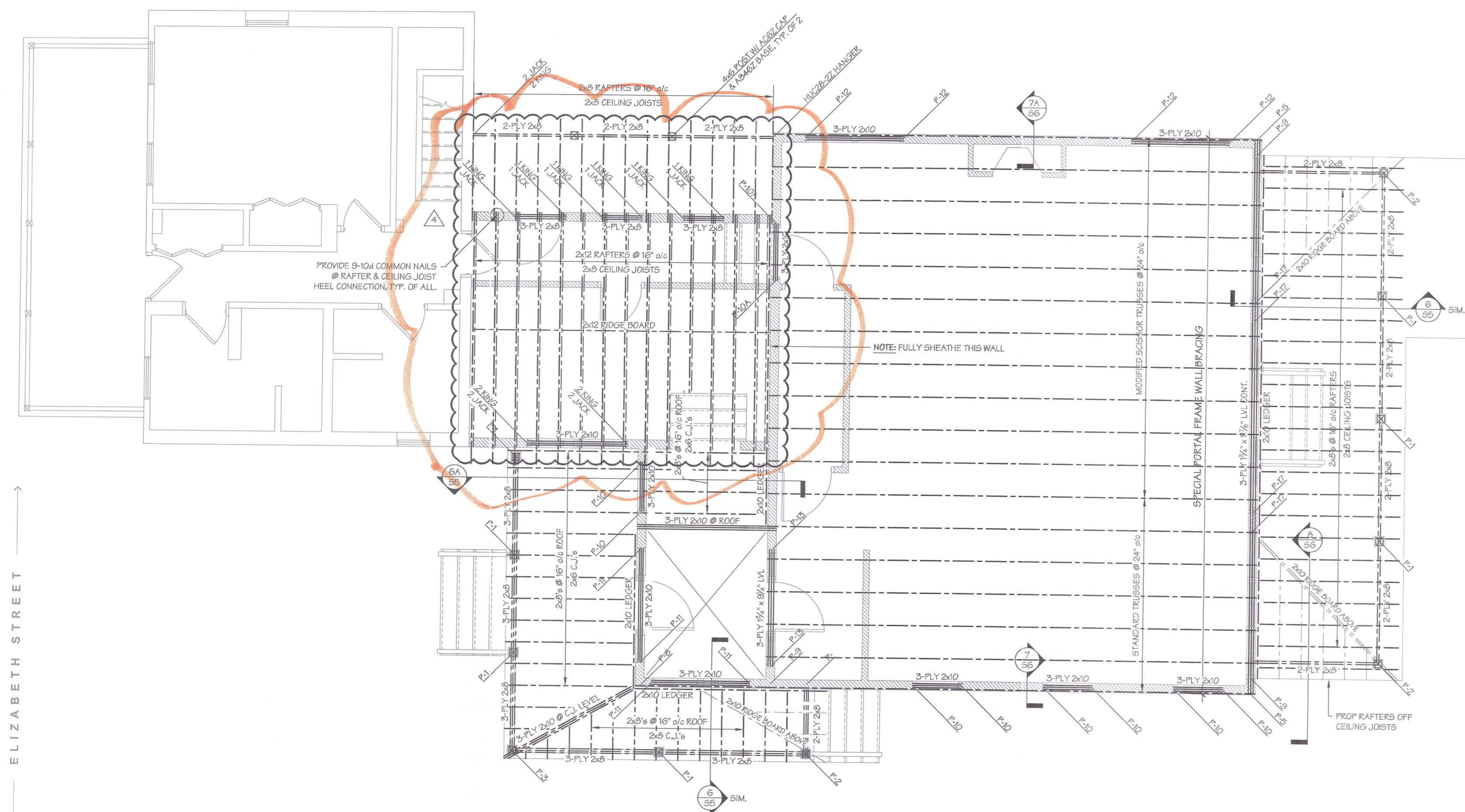
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PERMIT 3/29/2023
REVISIONS 6/9/2023

2ND FLOOR FRAMING
ALTERATIONS LEVEL 2 & ADDITION
JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

S3
23JHS1

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED (JEFF A. LYDON), THE PLANS AND SPECIFICATIONS DERIVED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT.



*NOTE: PROVIDE SIMPSON PLATED TRUSS CONNECTORS AT ALL INTERIOR PARTITIONS

*NOTE: ALL EXTERIOR WALLS TO HAVE METHOD C5-WSP WALL BRACING UNLESS NOTED OTHERWISE. EXTERIOR SHEATHING TO BE 3/8" PLYWOOD OR 7/16" OSB (APA RATED). MINIMUM NAILING OF 8d NAILS AT 6" o/c AT EDGES & 12" o/c IN FIELD.

POST SCHEDULE		
MARK	SIZE	REMARKS
P-1	6x6 SYP #2	ABW66Z BASE PC6Z CAP
P-2	6x6 SYP #2	ABW66Z BASE EPC6Z CAP
P-3	6x6 SYP #2	ABW66Z BASE LCE4Z CAP
P-4	6x6 SYP #2	FNDN TO 1st FL. ABW66Z BASE C76Z CAP
P-5	2-PLY 2x6 JACK (1) 2x6 KING	SQUASH BLOCK @ 1st FL. STHD4RJ HOLDDOWN SEE DET. 11
P-6	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL.
P-7	4x4 SYP #1	ABW44Z BASE BC4Z CAP
P-8	3-PLY 2x6 JACK 2-PLY 2x6 KING	-
P-9	2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL. STHD4RJ HOLDDOWN. MSTC2B STRAP SEE DET. 11
P-10	(1) 2x6 JACK (1) 2x6 KING	SQUASH BLOCKS @ P-10A
P-11	(1) 2x6 JACK 2-PLY 2x6 KING	-
P-12	(1) 2x6 JACK 3-PLY 2x6 KING	-
P-13	2-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-14	2-PLY 2x6 JACK 3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-15	3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-16	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-17	3-PLY 2x6	SQUASH BLOCK @ 1st FL. STHD4RJ HOLDDOWN MSTC2B STRAP SEE DETAIL 11

NOTE: ALL POSTS TO BE SYP #1/#2 OR HEM. FIR #2 (UNLESS NOTED OTHERWISE) NAIL PLYS WITH 16d BOX NAILS @ 12" o/c

2ND FLOOR FRAMING 1
1/4"=1'-0"

REVISED

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S3
23JHS1

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