



**TOWN AND VILLAGE OF ELLICOTTVILLE  
PLANNING AND CODE ENFORCEMENT**

23 Parkside Drive • P.O. Box 600 • Ellicottville, New York 14731  
(716) 699-2240 | [www.ellicottvillegov.com](http://www.ellicottvillegov.com)

**ZONING PERMIT APPLICATION**

APPLICATION NUMBER: 2023-298

**GENERAL INFORMATION**

Project Address: 16 Fillmore Drive, Lot 8

Tax Parcel Number: 55.027-2-6.5       Town of Ellicottville     Village of Ellicottville

Purpose of this Permit:  New Construction     Structural Alteration     Change of Use     Intent to Subdivide

**APPLICANT**

Name(s): Jamel Perlins

Mailing Address: 4126 Ridgefield Terrace, Hamburg, NY 14075

Phone Number: 716-465-0098      Email: jamelperlins@gmail.com

Is the applicant the property owner?     Yes     No (*proof of ownership or authorization must be provided*)

**PROPERTY OWNER (if different than the applicant)**

Name(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_      Email: \_\_\_\_\_

**APPLICANT'S REPRESENTATIVE (if different than the applicant)**

Company Name: Aaron Tiller

Company Address: 5 Pine Street, Allegany, NY 14606

Contact Name: Aaron

Phone Number: 716-307-3684      Email: Aarontiller@gmail.com

Check all that apply:     Architect     Contractor     Designer     Engineer     Attorney     Other

**DESCRIPTION OF PROJECT OR USE** (attach additional pages if necessary)

Provide a detailed and complete description of the proposed work to be completed and/or the intended use(s)

New Single family home at 16 Fillmore Drive.

**SITE INFORMATION**

Current use of the property including any buildings or structures on the lot (attach additional pages if necessary):  
single family home

Zoning District(s): MD Historic District?  Yes  No

Current Lot Size (sq. ft./acres): 14875 Area to be Developed (sq. ft./acres): 6600 sf

Current Lot Coverage (sq. ft./acres): vacant=0 Proposed Lot Coverage (sq. ft./acres): 3500sf

Method Sanitary Sewerage Disposal: Existing village system

Method of Water Supply: Existing village water

Flood Hazard Area?  Yes  No FIRM Zone: AE Base Flood Elevation: 1540.7

**STRUCTURE INFORMATION**

Dimensional Requirements	Principal Structure		Accessory Structure	
	Existing	Proposed	Existing	Proposed
Building Footprint	sq. ft.	<u>2201</u>		
Gross Floor Area	sq. ft.	<u>3913</u>		
Structure Height	feet	<u>25'-3"</u>		
Structure Height	stories	<u>2</u>		
Dwelling Units	number	<u>1</u>		
Front Yard Setback	feet	<u>29.2'</u>		
Side Yard Setback (near side)	feet	<u>15.0'</u>		
Side Yard Setback (far side)	feet	<u>23.1'</u>		
Combined Side Yard	feet	<u>38.1</u>		
Rear Yard Setback	feet	<u>72'</u>		

# SIGNATURES

Applicant and Property Owner(s) (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of the laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town and Village of Ellicottville Zoning Law that is relevant to this application. By signing this form, the owner or the owner's authorized representative is giving their consent for the Building, Planning and Code Enforcement Division to inspect the site as necessary and related to this application even if the property has been posted against trespassing.

## Applicant

\_\_\_\_\_  
Signature of Applicant

8-21-2023  
\_\_\_\_\_  
Date

## Property Owner

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Date

# OFFICIAL USE ONLY

Application Fee: \$140

Received By: \_\_\_\_\_

Date: \_\_\_\_\_

## Zoning Permit Review

APPROVED – This permit complies with the Zoning Ordinance and may obtain a building permit.

REFERRAL – This permit is not valid until the following approvals have been obtained from the Planning Board.

SPECIAL USE PERMIT, SITE PLAN REVIEW AND ARCHITECTURAL DESIGN REVIEW.

DENIED – This permit is not in conformance with the following provision(s) of the Zoning Ordinance.

Gregory R. Keegan  
\_\_\_\_\_  
Signature of Zoning Enforcement or Code Enforcement Official

9/11/2023  
\_\_\_\_\_  
Date

July 17, 2023

Village of Ellicottville  
Planning Board

Re: Site plan and architectural review  
16 Fillmore Drive Lot 8

Dear Planning Board,

Jamel and Josie Perkins own a vacant lot at 16 Fillmore Drive in the Village of Ellicottville. They wish to construct a new single-family home. Below is a zoning review of the proposed action.

**A. Medium Density Residential District-** (MD) update with new Local Law 4

B. Permitted Uses:

-Single Family -Use Permitted

C. Lot and Site Regulations

- 1) Lot Size 12,500 sf, 80 wide required- Provided 14,875sf, 85' width
- 2) Minimum Building size 1000 SF- Provided 3,913 sf
- 3) Side yard – 15' with 30' Combined Required- Provided 15'and 23.1'= 38.1' Total
- 4) Front yard- 25'Required, Provided 53'
  
- 5) Rear Yard- 25', 10' Accessory Building, 15' on Corner Lot  
Proposed is 72'
  
- 6) Floor Area Ratio- NA

7) Open Space – 60% of Total Site

Required open space 14,875 SF lot x .60=8,925 SF

Footprint of house	= 2,201 sf
Drive outside required yard 22'x18'	= 396 sf
Sidewalk & Patio	<u>960 sf</u>
Total	3,557 sf

3557 SF used space/14,875 SF lot = 24% used space  
Which = 76% Usable open space  
Proposed Complies

D. Height Regulations – 2.5 Stories  
Principle Build is 2 stories

E. Apartment/Lockout Rooms  
requested

F. Architectural Design Review

-subject to Architectural Design Review.

G. Site Plan Review

-subject to site plan review per Section 6.

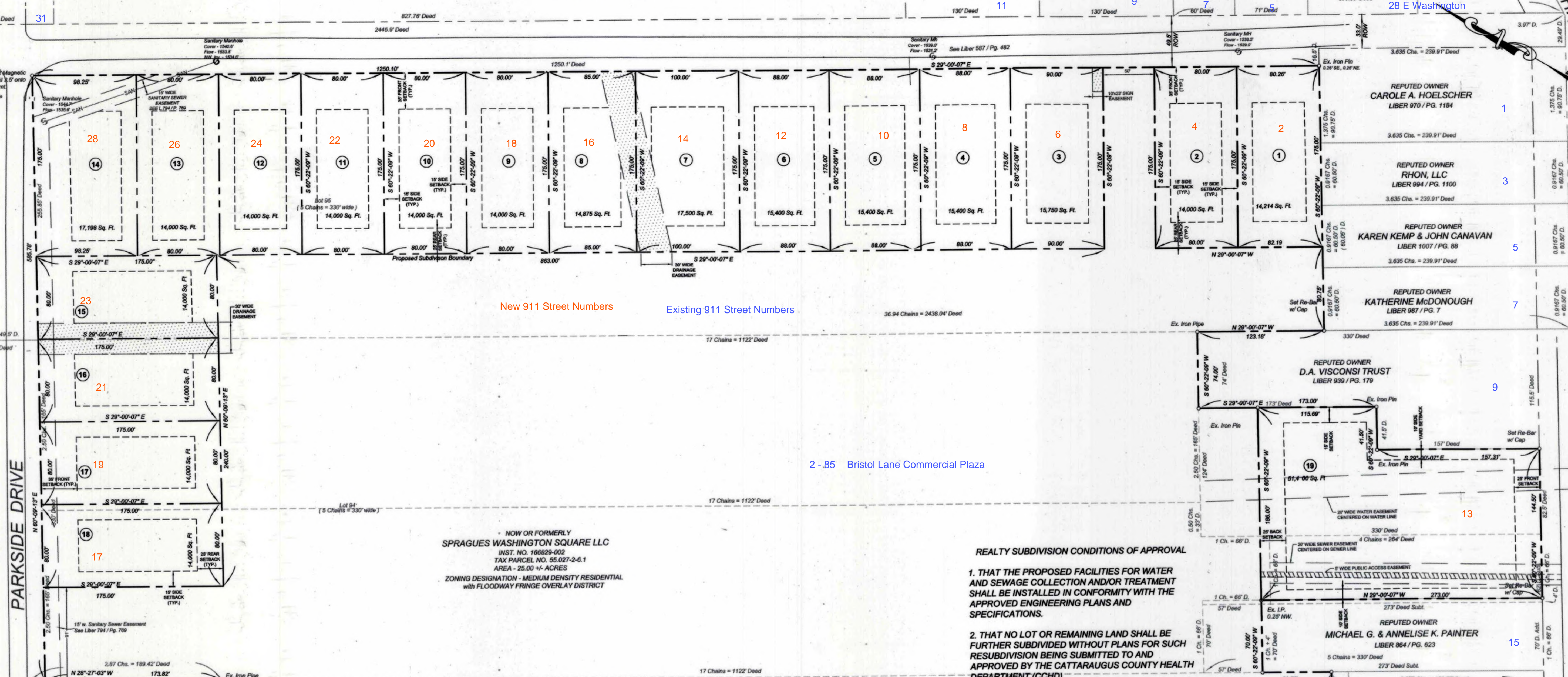
H. Re-Subdivision of Lots- Allowed upon Application

Not requested

FILLMORE DRIVE

WASHINGTON STREET

ELIZABETH STREET



New 911 Street Numbers Existing 911 Street Numbers

2-85 Bristol Lane Commercial Plaza

NOW OR FORMERLY SPRAGUES WASHINGTON SQUARE LLC INST. NO. 196829-002 TAX PARCEL NO. 55.027-2-6.1 AREA - 25.00 +/- ACRES ZONING DESIGNATION - MEDIUM DENSITY RESIDENTIAL with FLOODWAY FRINGE OVERLAY DISTRICT

REALTY SUBDIVISION CONDITIONS OF APPROVAL

- 1. THAT THE PROPOSED FACILITIES FOR WATER AND SEWAGE COLLECTION AND/OR TREATMENT SHALL BE INSTALLED IN CONFORMITY WITH THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
2. THAT NO LOT OR REMAINING LAND SHALL BE FURTHER SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE CATTARAUGUS COUNTY HEALTH DEPARTMENT (CCHD)
3. THAT THE SANITARY FACILITIES ON THESE LOTS SHALL BE INSPECTED FOR COMPLIANCE WITH THE APPROVED PLANS AT THE TIME OF CONSTRUCTION BY A P.E. AND/OR THE CATTARAUGUS COUNTY HEALTH DEPARTMENT. A RECORD DRAWING MUST BE FILED WITH THE HEALTH DEPARTMENT AND THE TOWN BUILDING CODE ENFORCEMENT OFFICER WITHIN 30 DAYS AND PRIOR TO OCCUPANCY.
4. THAT THIS PLAN APPROVAL IS LIMITED TO FIVE(5) YEARS AND SHALL EXPIRE EXACTLY FIVE YEARS FROM THE DATE OF APPROVAL AS NOTED ON THE PLANS AND CERTIFICATE OF REALTY SUBDIVISION APPROVAL. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE CCHD BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
5. THAT THE APPROVED PLANS MUST BE FILED WITH THE CATTARAUGUS COUNTY CLERK PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE DATE OF PLAN APPROVAL.
6. THAT ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCY RULES AND REGULATIONS SHALL BE COMPLIED WITH.

CERTIFICATE OF APPROVAL RECOMMENDED BY THE VILLAGE ENGINEER, OWNERS CERTIFICATION, CERTIFICATE OF APPROVAL BY THE PLANNING BOARD, CATTARAUGUS COUNTY HEALTH DEPARTMENT APPROVED. Includes dates, signatures, and instrument number 238142-001.

OWNER INFORMATION: STANLEY & JILL PAWLAK, CHRISTOPHER MCKENNA, J.L. CLAYTON & ROSE M. LETOURNEAU, BOCCELLI ATT, LOWES, POULLIER, et al., SNOW MOUNTAIN PROPERTIES, LLC, TAYLOR, KANTORSKI, DEVINE, RAEACHER, LAPI & PIERCE, FLECK & BARR, MERGENHAGEN, REED, WEISHAN, SCHLIEFER, ESTHER C. & DOUGLAS J. BALDWIN, KATHY S. WEISHAN.

OWNER INFORMATION: REPUTED OWNER CAROLE A. HOELSCHER, RHON, LLC, KAREN KEMP & JOHN CANAVAN, KATHERINE McDONOUGH, D.A. VISCONSI TRUST, MICHAEL G. & ANNEISE K. PAINTER, JANNA M. DRESING, DEAN ANDERSON, KEITH & CLAUDIA SANGER, KEVIN K. MCCLEARY, ESTHER C. & DOUGLAS J. BALDWIN, KATHY S. WEISHAN.

Table with columns: NO., DATE, REVISION, REVISION BY, REVISION FOR.

MDA Consulting Engineers, PLLC. P.O. BOX 604 BRISTOL, N.Y. 14815. Phone: (716) 699-4650. Fax: (716) 699-4651.

DOCUMENT STATUS: DATE: 4-22-2015. NOT FOR CONSTRUCTION, PRELIMINARY, FINAL.

COLTON CORNERS SUBDIVISION SPRAGUES WASHINGTON SQUARE, LLC. P.O. BOX 689, 11958 NYS RTE 16 YORKSHIRE, NY 14173.



FINAL PLAT PLAN

DATE: 2014.04.23. SCALE: 1" = 50'. PROJECT NAME: SPRAGUES WASHINGTON SQUARE. JOB NO.: 12501. DRAWN BY: HMS. CHECK BY: AT. SHEET NO.: PLAT MAP.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS ENGINEERING DRAWING IS A VIOLATION OF SECTION 2209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.



# Property Description Report For: 16 Fillmore Dr, Municipality of V. Ellicottville

*No Photo Available*

<b>Total Acreage/Size:</b>	100 x 175	<b>Status:</b>	Re-Activated
<b>Land Assessment:</b>	2023 - \$50,000	<b>Roll Section:</b>	Taxable
<b>Full Market Value:</b>	2023 - \$76,923	<b>Swis:</b>	043601
<b>Equalization Rate:</b>	----	<b>Tax Map ID #:</b>	55.027-2-6.5
<b>Deed Book:</b>	20210	<b>Property Class:</b>	311 - Res vac land
<b>Grid East:</b>	1125075	<b>Site:</b>	RES 1
		<b>In Ag. District:</b>	No
		<b>Site Property Class:</b>	311 - Res vac land
		<b>Zoning Code:</b>	03
		<b>Neighborhood Code:</b>	36080 - Village-North
		<b>School District:</b>	Ellicottville
		<b>Total Assessment:</b>	2023 - \$50,000
		<b>Property Desc:</b>	
		<b>Deed Page:</b>	6801
		<b>Grid North:</b>	831072

## Area

<b>Living Area:</b>	0 sq. ft.	<b>First Story Area:</b>	0 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	0
<b>Finished Rec Room</b>	0 sq. ft.	<b>Finished Area Over Garage</b>	0 sq. ft.

## Structure

<b>Building Style:</b>	0	<b>Bathrooms (Full - Half):</b>	0 - 0
<b>Bedrooms:</b>	0	<b>Kitchens:</b>	0
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	0
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	0	<b>Overall Grade:</b>	
<b>Year Built:</b>		<b>Eff Year Built:</b>	

## Owners

Jamel C Perkins 4126 Ridgefield Ter Hamburg NY 14075	Josie M Perkins 4126 Ridgefield Ter Hamburg NY 14075
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## Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Addl. Parcels	Deed Book and Page
6/11/2021	\$46,500	311 - Res vac land	Land Only	Colton Corners LLC	Yes	Yes	No	20210/6802

## Utilities

<b>Sewer Type:</b>	Comm/public	<b>Water Supply:</b>	Comm/public
<b>Utilities:</b>	Gas & elec	<b>Heat Type:</b>	0
<b>Fuel Type:</b>	0	<b>Central Air:</b>	No

## Improvements

Structure	Size	Grade	Condition	Year
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## Special Districts for 2023

Description	Units	Percent	Type	Value
FD360-Ellicottville fire	0	0%		0
WB360-Water benefit	0	0%		0
WD361-Water 1	0	0%		0

## Taxes

Year	Description	Amount
2021	County	\$680.31
2020	County	\$1,168.19
2020	School	\$460.34
2020	Village	\$162.55

**\* Taxes reflect exemptions, but may not include recent changes in assessment.**



# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

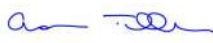
### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5.     Urban           Rural (non-agriculture)           Industrial           Commercial           Residential (suburban)			
<input type="checkbox"/> Forest           Agriculture                           Aquatic           Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest    Agricultural/grasslands    Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban    Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: _____  Signature:  _____ Title: _____		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

# PERKINS RESIDENCE 2023 NEW HOME

16 FILLMORE DRIVE LOT 8  
ELLICOTTVILLE NEW YORK 14731



LOCATION

CARL R.  
CALARCO, P.E.  
NYS LIC # 088460  
P.O. BOX 693  
ELLICOTTVILLE, NEW YORK 14731  
716-244-8313  
CRCALARCO@VERIZON.NET

COVER SHEET

AARON B.  
TILLER  
COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES  
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN  
FOR  
**PERKINS  
RESIDENCE**  
16 FILLMORE DRIVE  
ELLICOTTVILLE, NEW YORK 14731

## LEGEND

MATERIAL DESIGNATIONS:	
<b>ELEVATION</b>	
CONCRETE/PLASTER	RUNNING BOND MASONRY
CERAMIC TILE	STACK BOND MASONRY
GLAZING	STONE
BRICK	
<b>PLAN/SECTION</b>	
EARTH FILL	WOOD BLOCKING
ROCK	FINISHED WOOD
GRANULAR FILL	PLYWOOD - LARGE SCALE
LIGHTWEIGHT CONCRETE	PLYWOOD - SMALL SCALE
STRUCTURAL CONCRETE	METAL - LARGE SCALE
BRICK	METAL - SMALL SCALE
CONCRETE BLOCK	SHEATHING
CUT STONE	GYP. BD./PLASTER BD.
TILE ON CONCRETE	ACOUSTICAL CEILING TILE
MARBLE	CARPET
TERRAZZO	METAL STUDS
CERAMIC/QUARRY TILE	LOOSE FILL/BATT INSULATION
BOARD/RIGID INSULATION	

## ARCHITECTURAL SYMBOLS

SECTION: SECTION LETTER SHEET NUMBER	EXTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
DETAIL: DETAIL NUMBER SHEET NUMBER	INTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
DOOR NUMBER	ROOM NUMBER
WINDOW TYPE	ELEVATION TAG
COLUMN GRID	SPOT ELEVATION
CENTER LINE	REVISION
EXISTING CONTOUR LINE	PROPERTY LINE
NEW CONTOUR LINE	NORTH DESIGNATION
GRAPHIC SCALE	FIRE EXTINGUISHER
ROOF SLOPE INDICATION	EMERGENCY LIGHT WALL MOUNTED
BRACING	CARBON MONOXIDE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT.
EXIT LIGHT GRILLE	SMOKE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT. AND IN ADDITION TO THESE SHOWN ATLEAST ONE IS REQUIRED ON EVERY FLOOR.
MECHANICAL VENTILATION REQUIRED.	

## INDEX OF SHEETS

SHEET NO.	DESCRIPTION
CS	COVER SHEET
C101	SITE PLAN
C102	SITE PLAN DETAILS
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A301	CROSS SECTION
A302	CROSS SECTION
S101	FOUNDATION PLAN
S102	FRAMING PLAN

### DOCUMENT STATUS

DATE: 8-22-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

REVISION DATE: DRAWN BY: ABT

DATE: 8-22-2023 REVIEWED BY:

DRAWING NO: CS

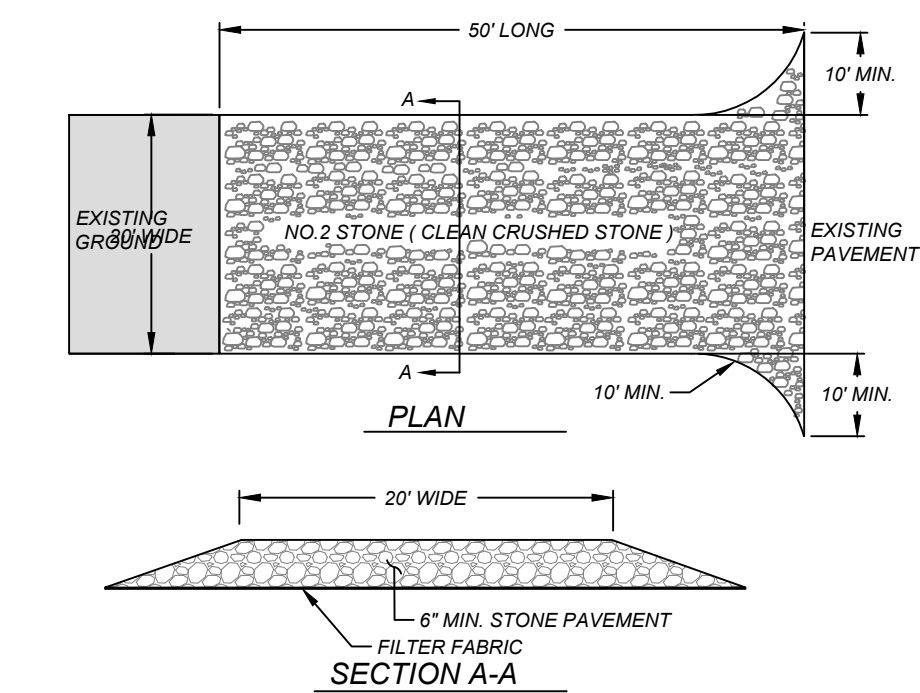
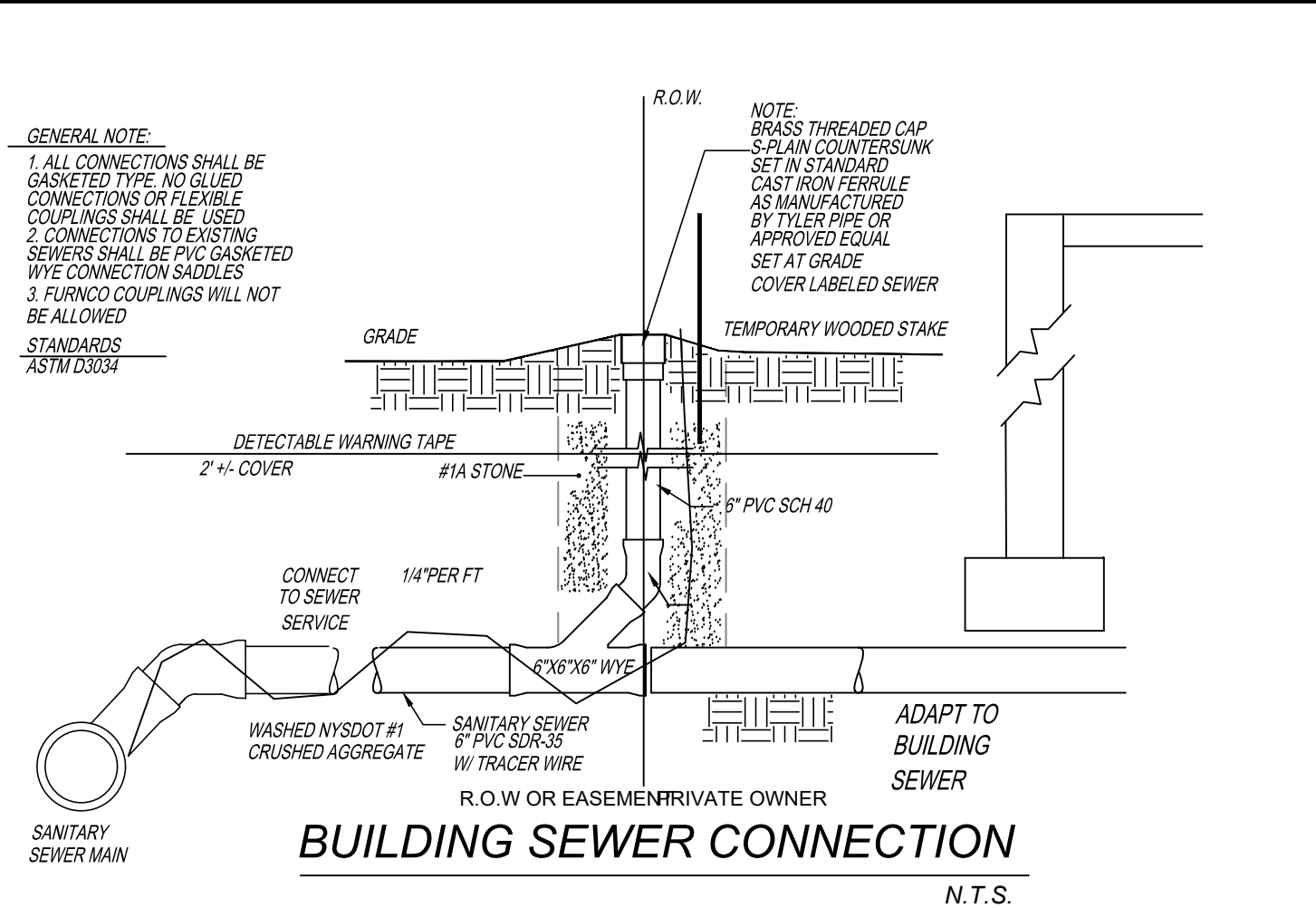
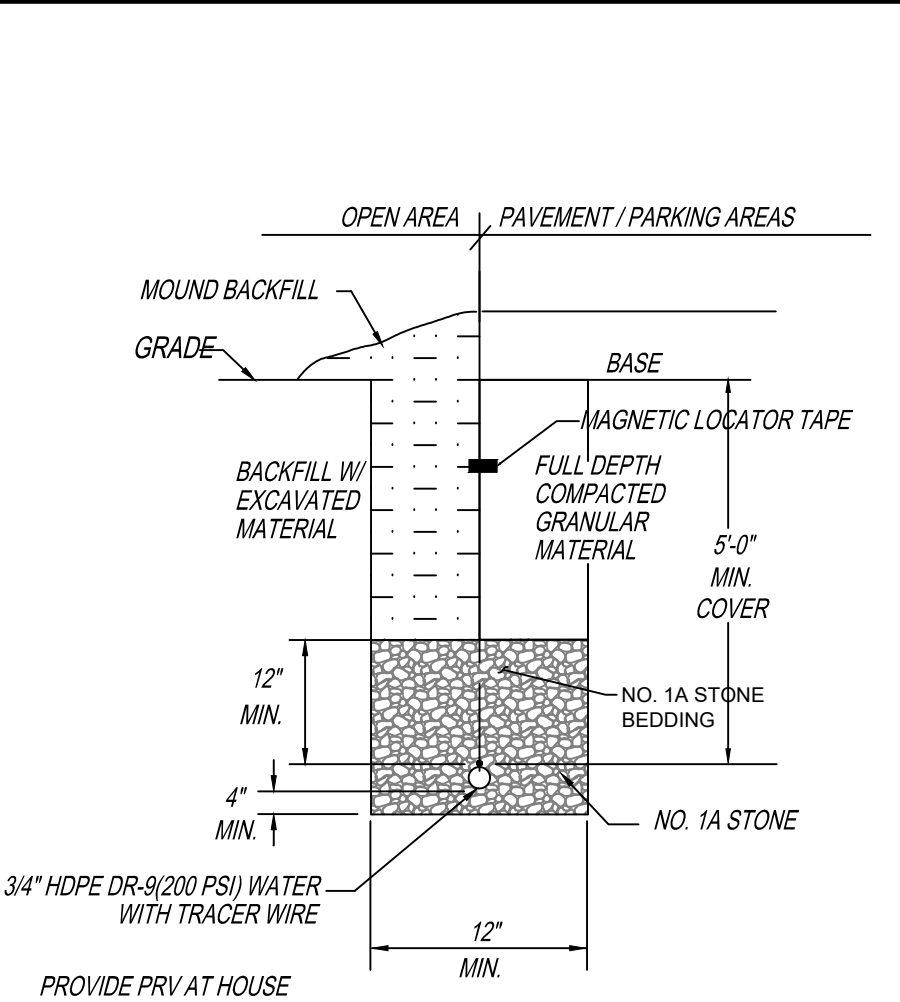
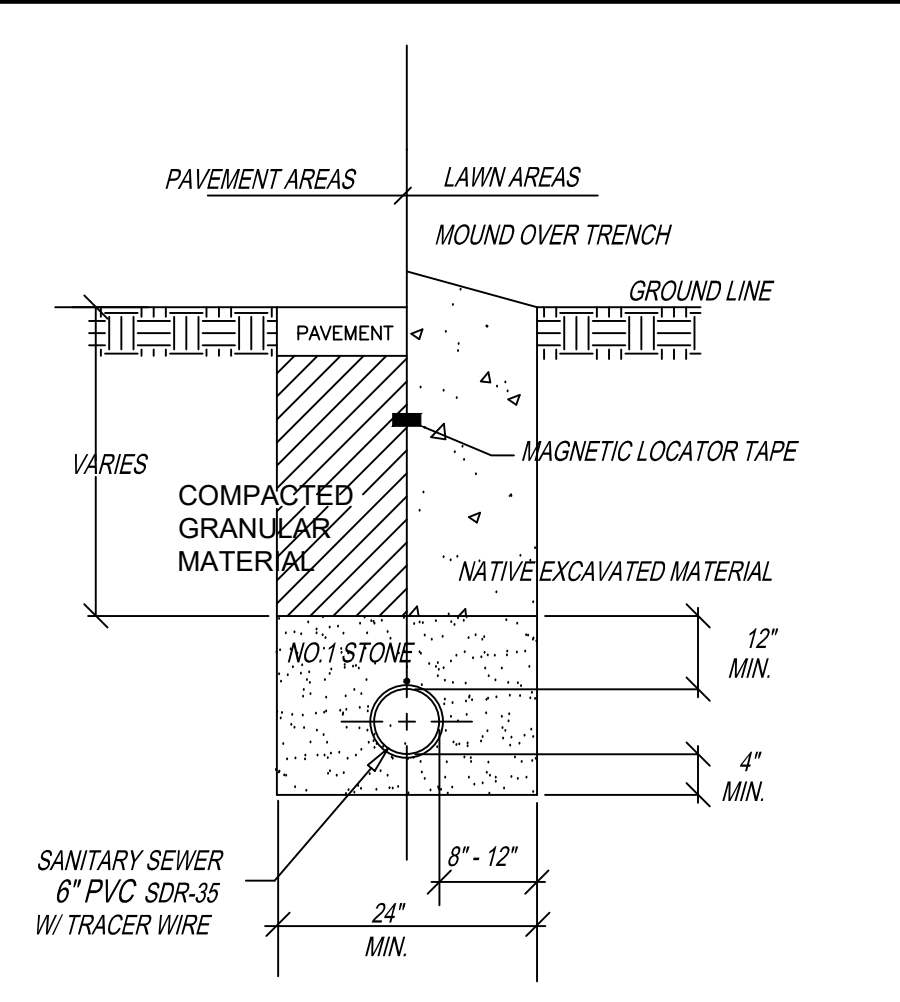
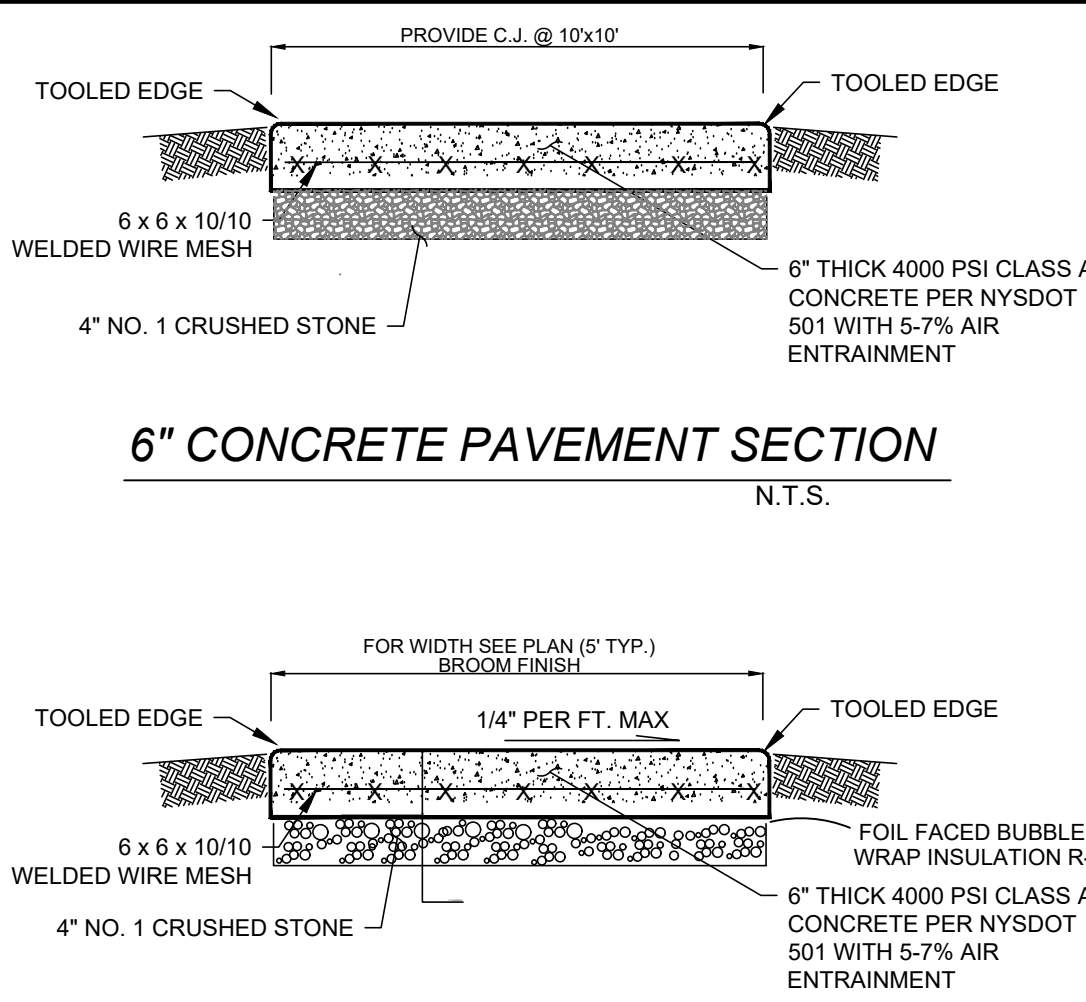
VILLAGE RESIDENTIAL ZONING - (MD)	
LOT SIZE	12,500 SF
FLOOR AREA RATIO	25%
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15'-30" TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

**LEGEND**

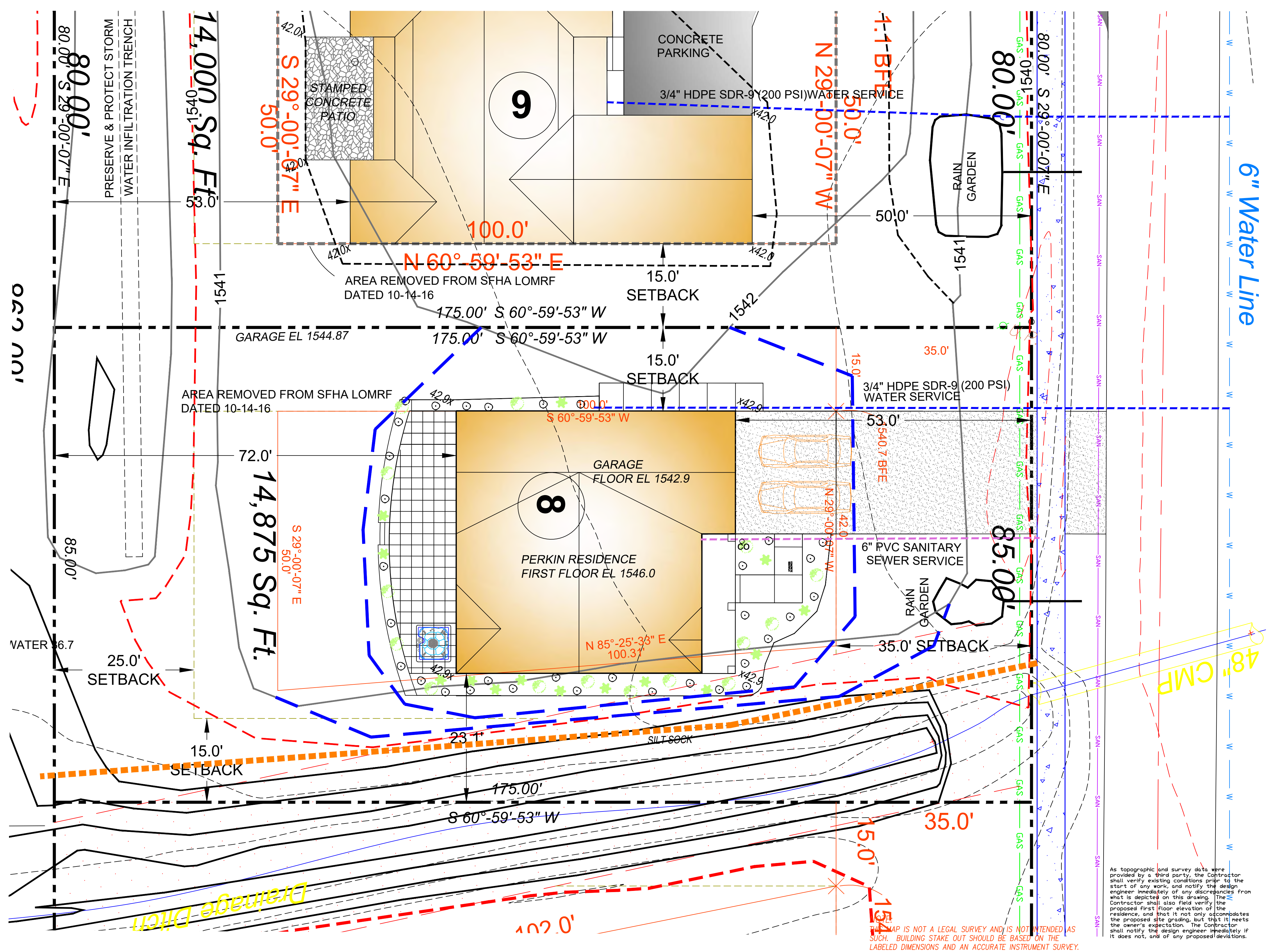
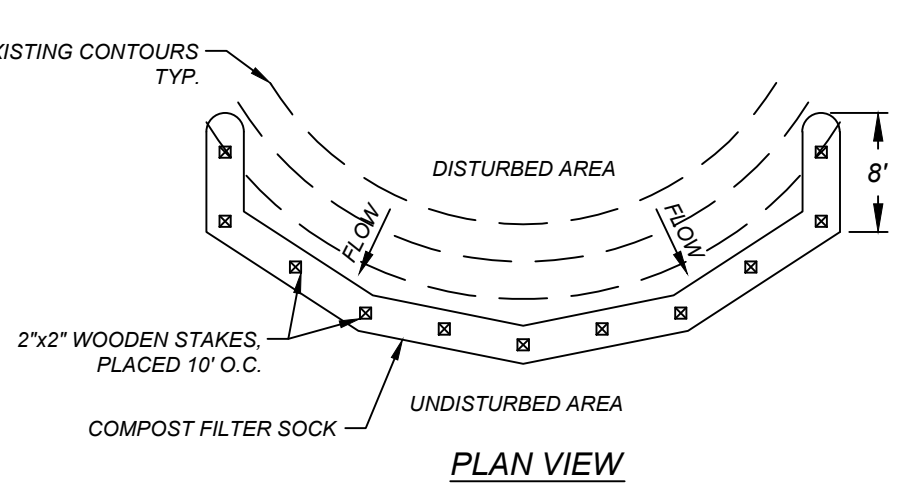
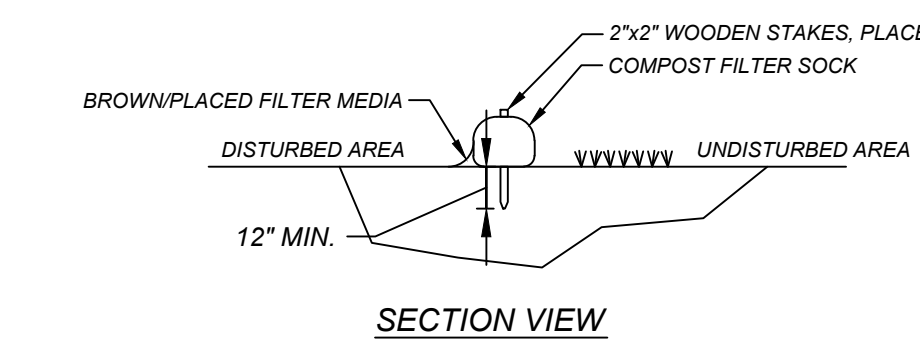
TOPO BEFORE FILL  
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 MINOR CONTOURS - - - - -

EXISTING TOPO  
 MAJOR CONTOURS - - - - -  
 MINOR CONTOURS - - - - -

PROPOSED CONTOURS - - - - -



- NOTES:**
- STONE SIZE NO. 2 (CLEAN CRUSHED STONE)
  - PLACE FILTER FABRIC OVER ENTIRE AREA PRIOR TO PLACING STONE
  - ALL SURFACE WATER FLOWING TOWARD CONSTRUCTION ENTRANCE TO BE PIPED ACROSS THE ENTRANCE
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS
  - R.O.W. SHALL BE REMOVED IMMEDIATELY
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM



THIS MAP IS NOT A LEGAL SURVEY AND IS NOT INTENDED AS SUCH. BUILDING STAKE OUT SHOULD BE BASED ON THE LABELED DIMENSIONS AND AN ACCURATE INSTRUMENT SURVEY.

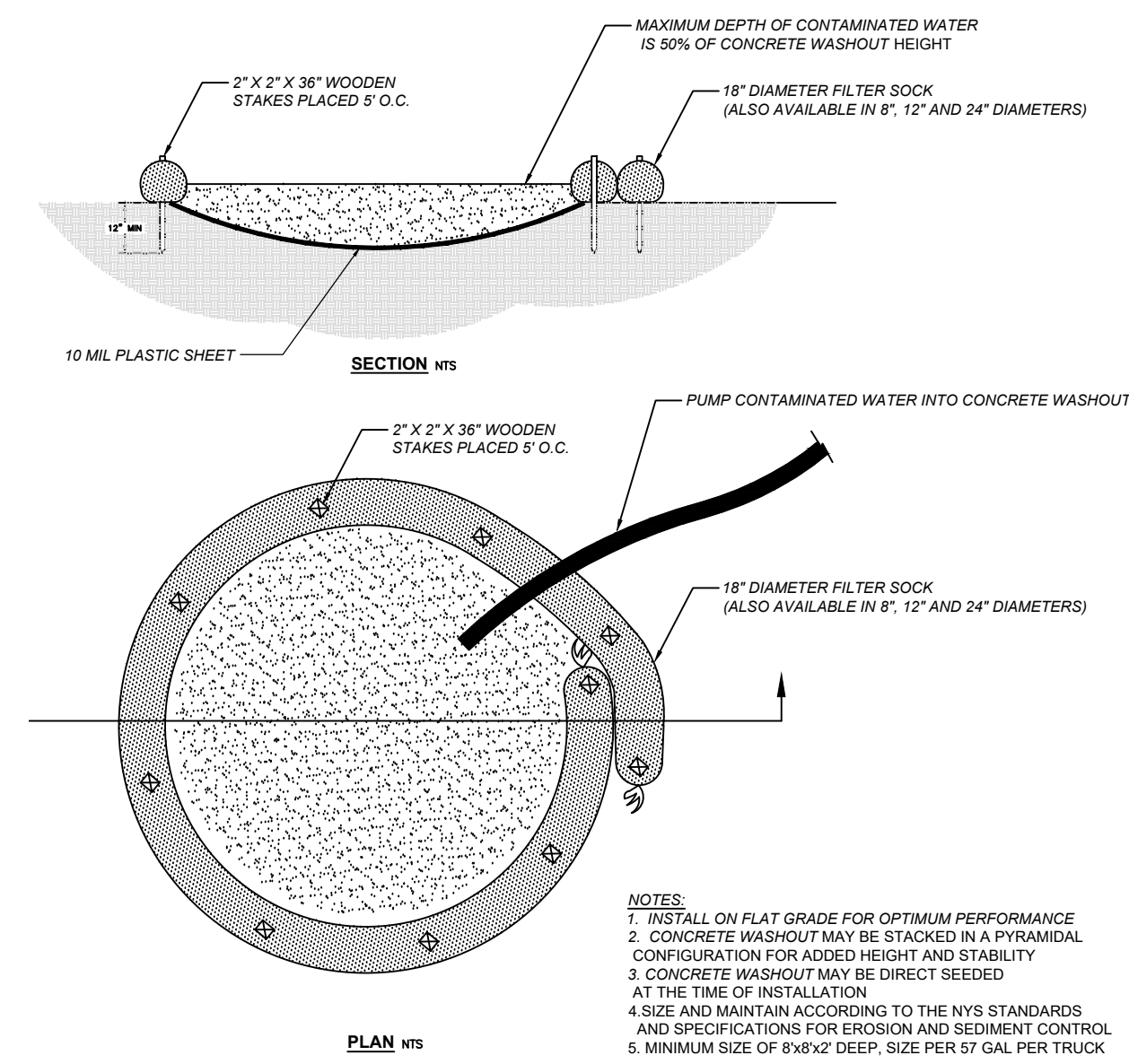
**CARL R. CALARCO, P.E.**  
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**PROPOSED SITE PLAN**

**AARON B. TILLER**  
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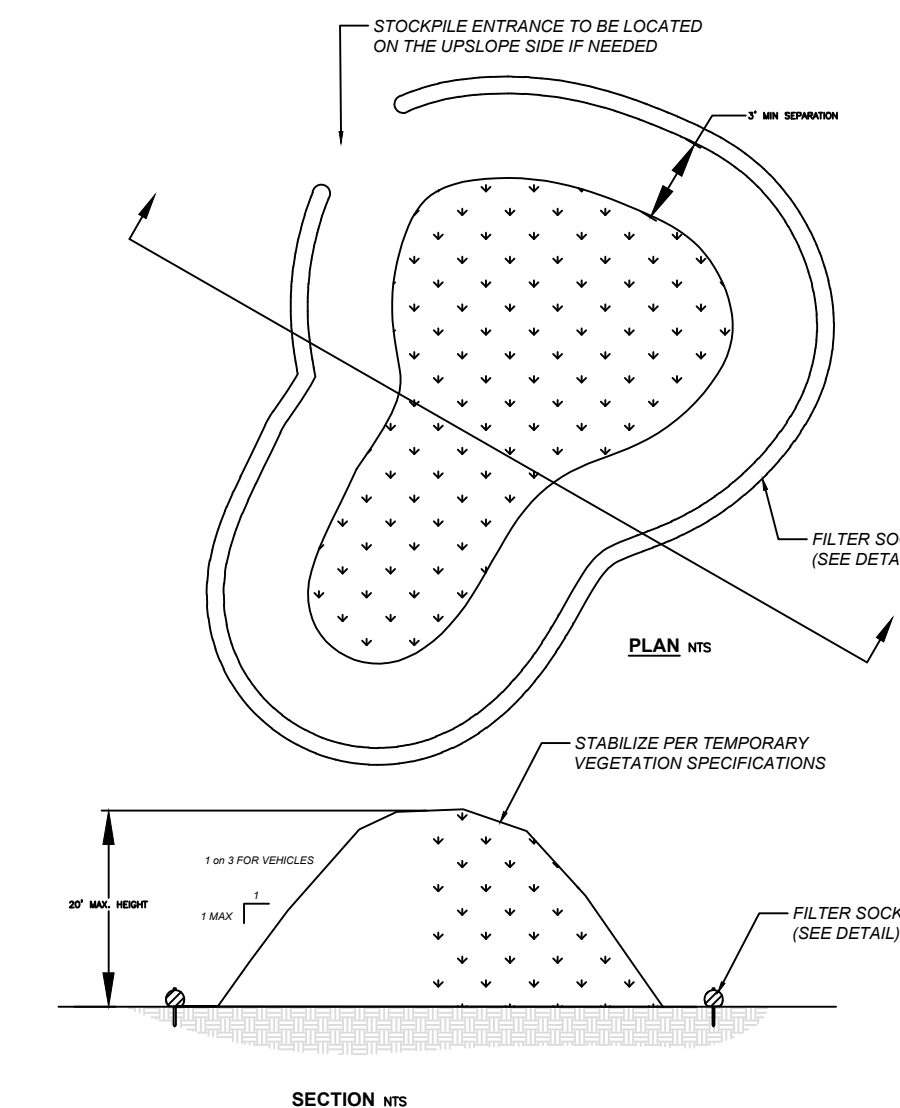
RESIDENTIAL DESIGN FOR  
**PERKINS RESIDENCE**  
 16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	<b>C101</b>



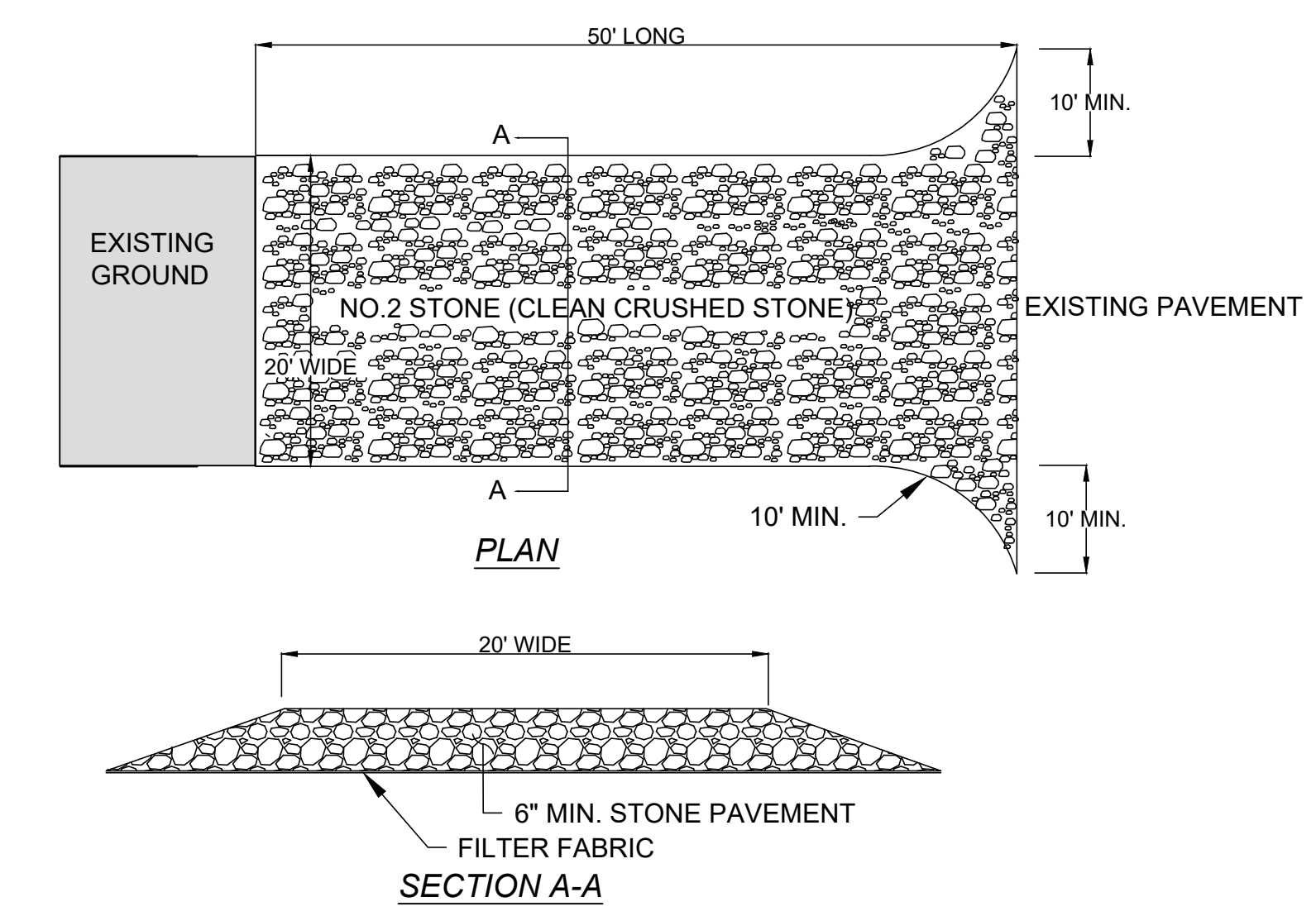
**CONCRETE WASHOUT**

N.T.S.



**TOPSOIL STOCKPILE DETAIL**

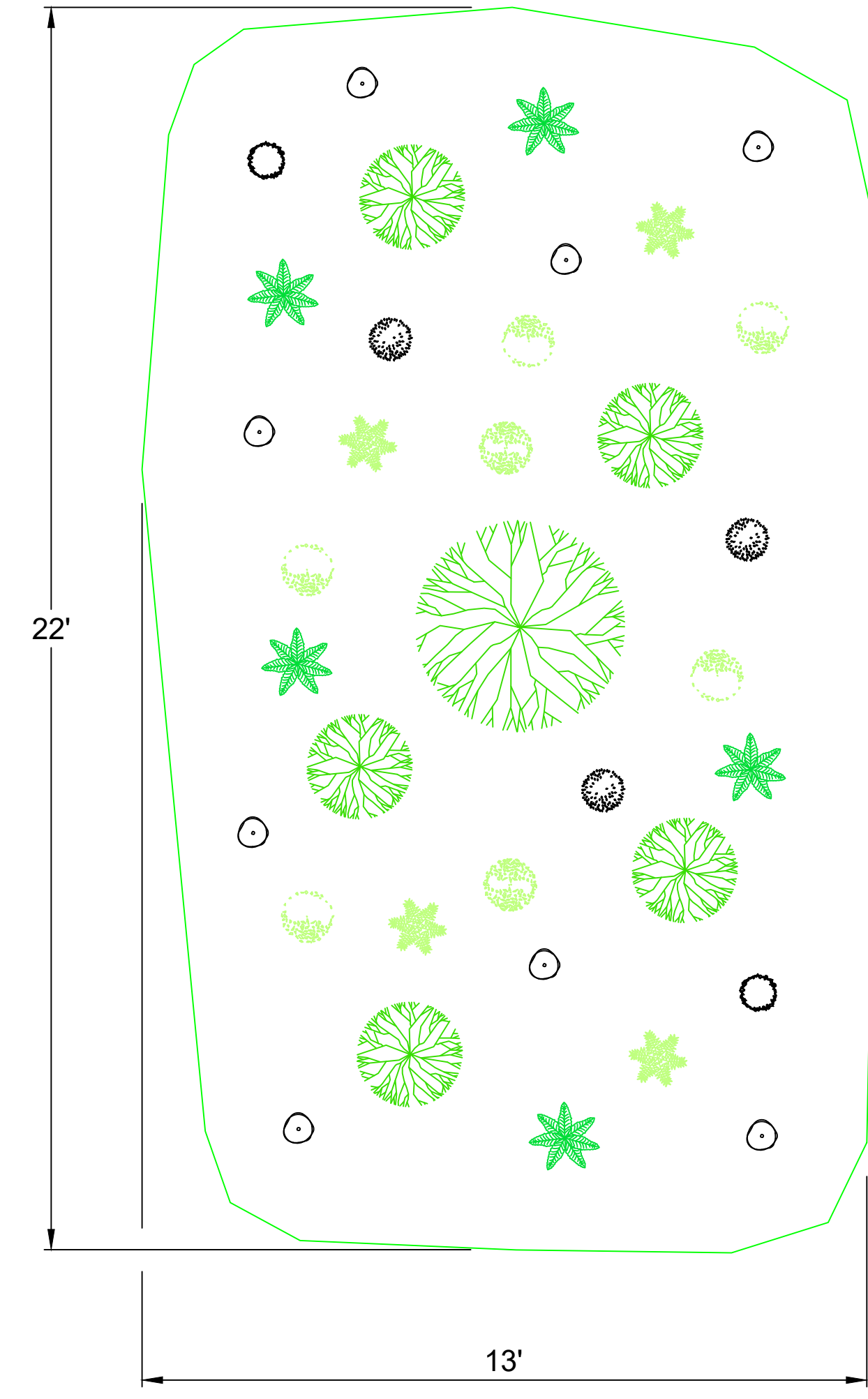
N.T.S.



- NOTES:**
1. STONE SIZE NO.2 ( CLEAN CRUSHED STONE ).
  2. PLACE FILTER FABRIC OVER ENTIRE AREA PRIOR TO PLACING STONE.
  3. ALL SURFACE WATER FLOWING TOWARD CONSTRUCTION ENTRANCE TO BE PIPED ACROSS THE ENTRANCE.
  4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W. SHALL BE REMOVED IMMEDIATELY.
  5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM.

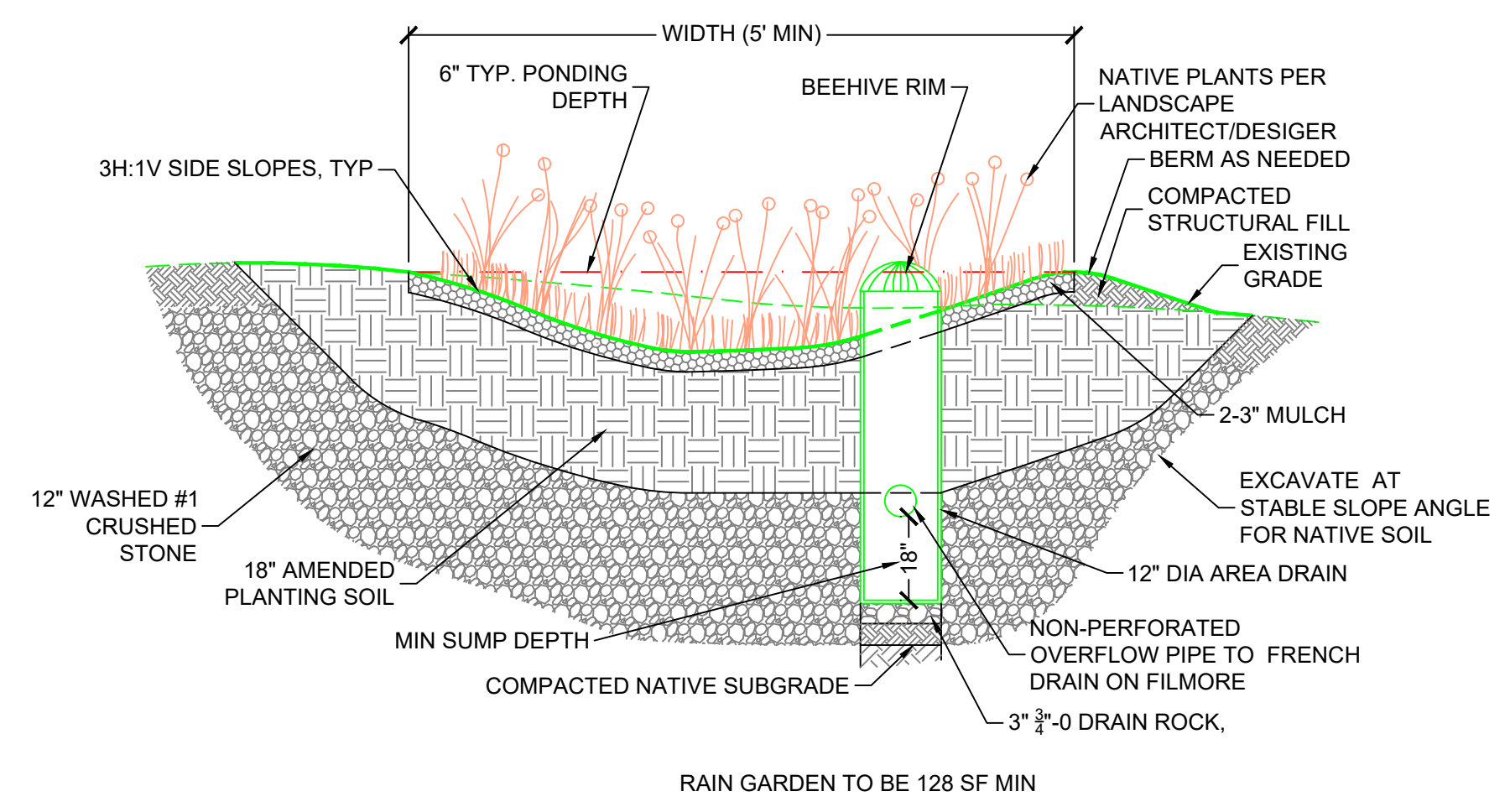
**STABILIZED CONSTRUCTION ENTRANCE**

N.T.S.



**TYPICAL RAIN GARDEN**

N.T.S.



**INFILTRATION RAIN GARDEN WITH PLANTING SOIL NOTES**

- DESIGN NOTES:**
1. PLANT WITH PLANTS PER LANDSCAPE ARCHITECT DWGS. NATIVE PLANTS ARE PREFERRED, BECAUSE NON-NATIVE AND INVASIVE SPECIES CAN MOVE DOWNSTREAM AND DAMAGE HABITAT. IF NON-NATIVES ARE CHOSEN, BE SURE THAT THEY WILL NOT DAMAGE DOWNSTREAM HABITAT.
  2. BUILD AND VEGETATE RAIN GARDEN AS EARLY AS POSSIBLE TO ESTABLISH PLANTINGS BEFORE DIRECTING STORMWATER RUNOFF TO IT OR DIVERT STORMWATER AROUND FACILITY. PREFERABLY, THIS PERIOD WOULD LAST A MINIMUM OF 3 MONTHS OR PER LANDSCAPE ARCHITECT/DISIGNER GUIDELINES.
  3. INFILTRATION AREAS (THE AREA OF THE RAIN GARDEN AS DEFINED BY THE TOP ELEVATION OF THE FACILITY) SHALL BE FENCED OFF FROM THE FIRST DAY OF EARTH MOVING UNTIL PROJECT COMPLETION TO PREVENT COMPACTION OF THE SUBGRADE, DIRT TRACKING ONTO ANY LAYER OF THE FACILITY AND STOCKPILING OF CONSTRUCTION MATERIALS THAT MAY CLOG THE SURFACE.
  4. DURING EXCAVATION OF NATIVE SOILS TO THE BOTTOM OF THE FACILITY, RAINFALL MAY CAUSE FINES TO CLOG THE SURFACE OF THE FACILITY. IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
  5. CALL THE ENGINEER AT [716-699-4650] 24 HOURS IN ADVANCE OF CONSTRUCTING THIS FACILITY SO CONSTRUCTION OBSERVATION MAY BE PERFORMED TO IDENTIFY VARIATIONS IN THE FIELD THAT MAY AFFECT DESIGN AND VERIFY PROPER CONSTRUCTION.
  6. DURING AREA DRAIN INSTALLATION, DISTURB NATIVE SOILS AS LITTLE AS POSSIBLE.

**AMENDED PLANTING SOIL MIX SPECIFICATIONS**

1. AMENDED PLANTING SOIL MIX SHALL HAVE THE FOLLOWING CHARACTERISTICS:
  - a. 60% LOAMY SAND AND 40% COMPOST.
  - b. ORGANIC CONTENT MATTER FROM 8-10% BY WEIGHT
  - c. CATION EXCHANGE CAPACITY (CEC) GREATER THAN OR EQUAL TO 5 MILLIEQUIVALENTS/100 GRAMS OF DRY SOIL
  - d. 2-5% MINERAL FINES CONTENT
2. AMENDED PLANTING SOIL MIX MAY BE CREATED BY TESTING ON-SITE NATIVE SOILS AND MIXING MATERIALS FROM OFF-SITE AS NEEDED TO ACHIEVE THE CHARACTERISTICS DESCRIBED IN NOTE 1 ABOVE.
3. AMENDED PLANTING SOIL MIX SHOULD BE UNIFORMLY MIXED WITH A SOIL MIXER.
4. PLACEMENT OF AMENDED PLANTING SOIL MIX SHALL OCCUR PER THE FOLLOWING GUIDELINES:
  - a. PLACE SOIL IN 12" LIFTS, KEEPING MACHINERY OUTSIDE OF INFILTRATION AREA.
  - b. DO NOT PLACE SOILS IF SATURATED.
  - c. COMPACT EACH LIFT WITH WATER OR BOOT PACKING UNTIL JUST SATURATED TO 85% COMPACTION. DO NOT COMPACT WITH HEAVY MACHINERY OR VIBRATORY COMPACTION.

NOTE: AMENDED SOIL CAN BE NYSDOT ITEM NO. 208.01030022

NOTE: RAIN GARDEN PLANT LIST PER TABLE 5.11 OF NYS STORMWATER MANGEMENT DESIGN MANUAL

SHRUBS	HERBACEOUS PLANTS
WITCH HAZEL	CINNAMON FERN
WINTERBERRY	CUTLEAF CONEFLOWER
ARROWWOOD	WOOLGRASS
BROOK-SIDE ALDER	NEW ENGLAND ASTER
RED-OSIER DOGWOOD	FOX SEDGE
SWEET PEPPERBUSH	SPOTTED JOE-PYE WEED
	SWITCH GRASS
	GREAT BLUE LOBELIA
	WILD BERGAMOT
	RED MILKWEED

**INFILTRATION RAIN GARDEN**

N.T.S.

As topographic and survey data were provided by a third party, the Contractor shall verify existing conditions prior to the start of any work, and notify the design engineer immediately of any discrepancies from what is depicted on this drawing. The Contractor shall also field verify the proposed first floor elevation of the residence, and that it not only accommodates the proposed site grading but that it meets the owner's expectation. The Contractor shall notify the design engineer immediately if it does not, and of any proposed deviations.

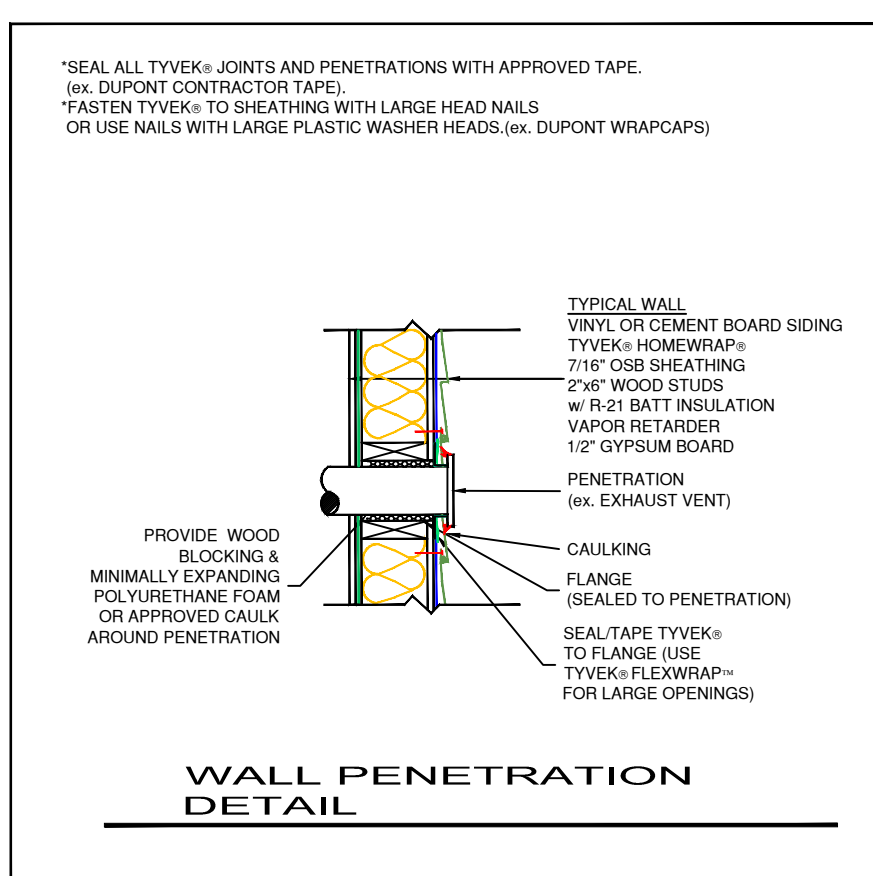
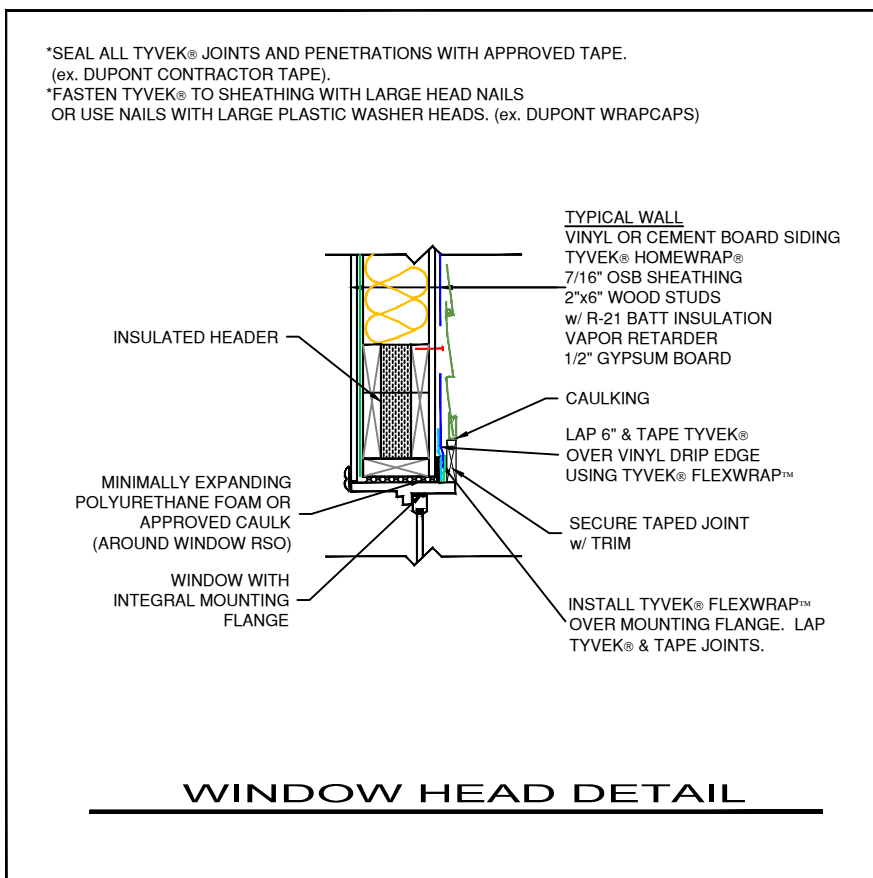
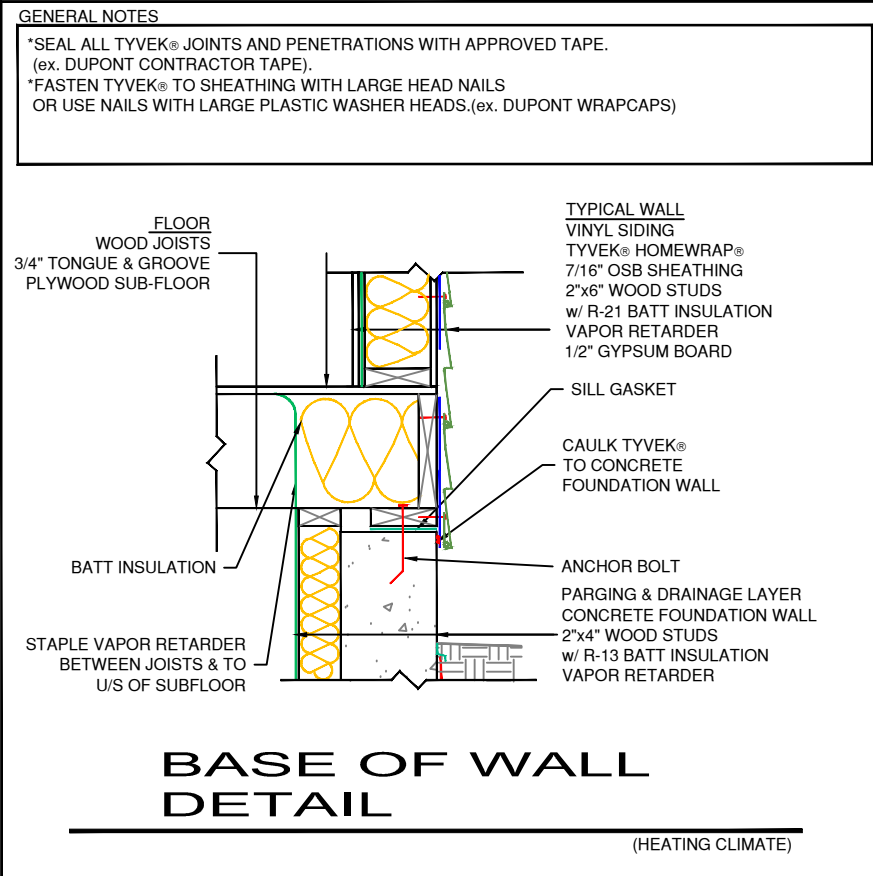
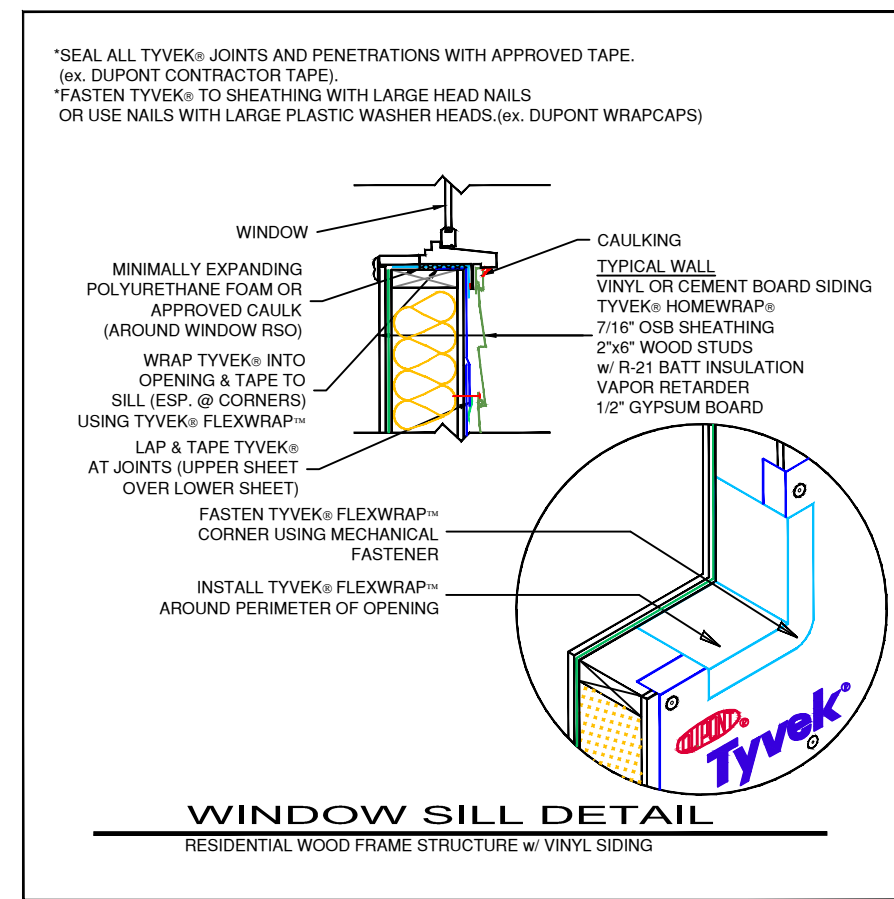
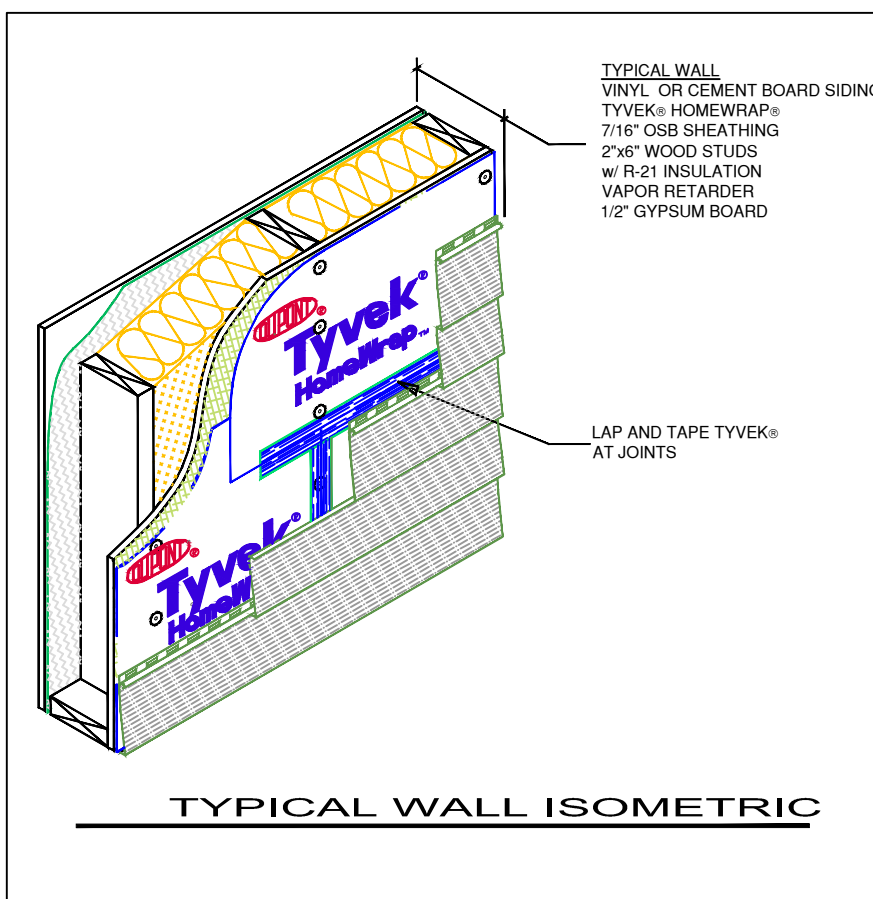
**CARL R. CALARCO, P.E.**  
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 CRALARCO@VERIZON.NET

**PROPOSED SITE PLAN**

**AARON B. TILLER**  
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**PERKINS RESIDENCE**  
 RESIDENTIAL DESIGN FOR  
 16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	<b>C102</b>



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**PROPOSED  
FIRST FLOOR PLAN**

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RESIDENTIAL DESIGN  
FOR  
**PERKINS  
RESIDENCE**  
16 FILLMORE DRIVE  
ELLCOTTVILLE, NEW YORK 14731

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED  
CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN  
COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION  
AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT



**GENERAL NOTES:**

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE RESIDENTIAL CODE AND/OR ANY APPLICABLE COUNTY OR LOCAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. OWNER/CONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:
 

ROOF (L.L.)	33 PSF
ROOF (L.L. + D.L.) (SHAKE/COMP)	48 PSF
ROOF (L.L. + D.L.)	48 PSF
STAIRS (L.L. + D.L.)	100 PSF
GARAGE FLOOR (L.L.) (2,000 POINT)	50 PSF
DECKS (L.L. + D.L.)	50 PSF
BALCONIES (EXT.) (L.L. + D.L.)	70 PSF
ATTIC STORAGE (CLG + S1) (L.L. + D.L.)	30 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

5. THIS PLAN IS DESIGNED TO MEET 2020 NYS RESIDENTIAL ENERGY CODE UNDER PRESCRIPTIVE ENVELOPE REQUIREMENTS FOR RESIDENTIAL BLDGS. IN ADDITION TO PRESCRIPTIVE ENVELOPE REQUIREMENTS, AN ADDITIONAL MEASURE MUST BE SELECTED. SEE ADDITIONAL MEASURE BELOW.

**PRESCRIPTIVE ENVELOPE REQUIREMENTS**

INSULATION:	ROOF (VAULTED CEILING)	R-49
	ROOF (FLAT CEILING)	R-38
	EXTERIOR WALLS	R-21
	INTERIOR INSULATION	R-20
	WALLS BELOW GRADE	R-15
	SLAB EDGES @ HEATED AREAS	R-16
	FORCED AIR DUCT (AT UNHEATED AREA)	R-8
GLAZING/DOORS:	MAXIMUM WINDOW AREA	NO LIMIT
	WINDOW CLASS	U = 35
	ENTRY DOOR CLASS (MAX. 28 SQ. FT.)	U = 54
	FULL LIGHT GLASS DOOR CLASS	U = 40
	OTHER DOORS (EXC. MAX. 28 SQ. FT.)	U = 20
	SKYLIGHT CLASS (MAX. 2% OF HEATED SPACE)	U = 60

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450, WHEN TESTED IN ACCORDANCE WITH ASTM E 84, AND CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATTS PER SQUARE CENTIMETER.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWLSPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR, OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), AND WHOSE BOTTOM EDGE IS LESS THAN 10" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- SKYLIGHTS ARE ASSUMED TO BE PRE-MANUFACTURED UNIT SKYLIGHTS. UNIT SKYLIGHTS SHALL BE COMPLIANT WITH THE REQUIREMENTS OF I.R.S.C. SECTION NF112.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" IN. DEAD BOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10' FT. (VERTICAL) OF GRADE.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS, AND IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS, WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, TO BE TEMPERED GLAZING.
- BASEMENTS AND EVERY SLEEPING ROOM TO HAVE MIN. WINDOW OPENING OF 5.7 SQ. FT. WITH A MIN. WIDTH OF 20" IN. AND A SILL HGT. NOT MORE THAN 44" IN. ABOVE FIN. FLOOR.
- SMOKE DETECTORS SHALL BE INSTALLED IN EA. SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE (N.E.C.) REQUIREMENTS.
- INTERIOR & EXTERIOR STAIRS SHALL HAVE A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS & TREADS. INTERIOR STAIRS OF 6 STEPS OR MORE SHALL HAVE THE REQUIRED LIGHTING IN THE IMMEDIATE VICINITY OF THE TOP & BOTTOM OF THE STAIRS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF STAIR. EXTERIOR STAIRS LEADING FROM GRADE TO BASEMENT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF STAIRS. LIGHTING FOR INTERIOR STAIRS SHALL BE CONTROLLED FROM TOP & BOTTOM OF EA. STAIR.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MIN. 80 cfm INTERMITTENT, ROOMS W/ BATHING OR SPA FACILITIES SHALL BE CONTROLLED BY A GEOTHERMIST, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER & RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.
- SPECIFIC MANUFACTURE AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.

**ENERGY CONSERVATION CODE**

- RESIDENTIAL BUILDING REGULATED BY 2020 NYS ENERGY CONSERVATION CODE.
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATION ARE IN COMPLIANCE WITH THE ENERGY CODE.
- THE BUILDING IS LOCATED IN CATTARAUGUS COUNTY, WHICH IS CLIMATE ZONE B
- THE BUILDING HAS FOLLOWED THE CODE USING RESCHECK.
- THE BUILDING SHALL HAVE THE FOLLOWING MIN COMPONENT UNLESS NOTED.
  - A. FENESTRATION 0.31 U-FACTOR
  - B. SKYLIGHTS 0.55 U-FACTOR
  - C. CEILING R-49
  - D. WOOD FRAME WALL 20+5 OR 13+10 R-VALUE
  - E. MASS WALL 15/20 R-VALUE
  - F. FLOOR 30 R-VALUE
  - G. BASEMENT WALL 15/19 R-VALUE
  - H. SLAB 10 R-VALUE TO 4"
  - I. CRAWL SPACE 15/19 R-VALUE
- THE M/E/P CONTRACTORS SHALL PREPARE AND SUBMIT MECHANICAL, LIGHTING AND SERVICE WATER HEATING SYSTEM AND EQUIPMENT DATA TO DEMONSTRATE FULL ENERGY COMPLIANCE
- A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED IN THE UTILITY ROOM. THE CERTIFICATE SHALL LIST THE R-VALUES, U-FACTORS AND RESULTS FROM REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. THE CERTIFICATE SHALL LIST THE TYPES OF AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.5.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
- BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
- A SHOWER OR BATHTUB ON AN EXTERIOR WALL HAVING THE AIR BARRIER AT THE EXTERIOR ADJACENT TO THE SHOWER AND TUB SHALL SEPARATE THEM FROM THE SHOWER AND TUB.
- PROVIDE A BLOWER DOOR TEST PER SECTION R402.4.1.2
- A MINIMUM OF 75% OF LAMPS SHALL BE HIGH EFFICACY.
- PROVIDE WHOLE HOUSE MECHANICAL VENTILATION PER TABLE M1507.3.3(1)

**FRAMING NOTES:**

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE (2) 2 X 10 HEADERS UNLESS OTHERWISE INDICATED.
- ALL EXTERIOR WALLS TO BE BUILT OF 2 X 6 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SUPPORTING TWO OR MORE FLOORS AND 1 OR MORE ROOF/CEILING ASSEMBLIES SHALL BE 2 X 6 STUDS @ 16" O.C.
- ALL METAL CONNECTORS TO BE "SIMPSON" OR EQUIVALENT. U.N.D. JOISTS HUNG ON FLUSH BEAMS TO BE ATTACHED WITH U210 OR EQUIVALENT. MULTIPLE JOISTS USE U210-U210-3 AS REQUIRED. USE OF 104 X 1-1/2" NAILS ARE ALLOWED WITH THESE TYPE OF HANGERS UNLESS NOTED ON THE PLANS. SEE NAIL CONVERSION CHART FROM CURRENT SIMPSON CATALOG FOR OTHER NOTES AND RESTRICTIONS THAT MAY APPLY.
- PROVIDE MIN DOUBLE JOISTS UNDER ALL BEARING WALLS ABOVE. RUNNING PARALLEL TO JOISTS AND SOLID BLOCKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS.
- PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CLG AREAS. AND INSULATION BAPFLES AT EAVE VENTS BETWEEN RAFTERS. RAFTER VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE THE PLATE.
- PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER NYS RESIDENTIAL CODE
- HIPS, VALLEY'S AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTER.
- UNLESS NOTED OTHERWISE, POST TO BEAM CONNECTIONS REQUIRE "SIMPSON" BC SERIES CAP/BASE (OR APPROVED EQVA.) CONNECTORS. EXTERIOR APPLICATIONS REQUIRE "SIMPSON" EPB SERIES BASES U.N.D. AND INTERIOR GARAGE POSTS REQUIRE "SIMPSON" CB SERIES BASES.

**9. LUMBER SPECIES:**

A. POSTS, BEAMS, HEADERS	NO. 2 DOUGLAS FIR
B. JOISTS AND RAFTERS	NO. 2 DOUGLAS FIR
C. SILLS, PLATES, BLOCKING BRACING ETC.	NO. 3 DOUGLAS FIR
D. STUDS	STUD GRADE S.P.F.
E. STUDS OVER 10' HIGH	NO. 2 OR BETTER D/F
F. POST & BEAM SCORING	UTILITY GRADE D/F
G. PLYWOOD SHEATHING	CDX PLY. 32/16
H. CLT-LAM BEAMS (EXT. ADH @ EXT. CONDITIONS)	F=2400, DRY ADH.

H.P. MATERIALS \*\* F<sub>b</sub> = 2900 E = 2.0 F<sub>v</sub> = 290  
L.V. MATERIALS \*\* F<sub>b</sub> = 2600 E = 1.8 F<sub>v</sub> = 285

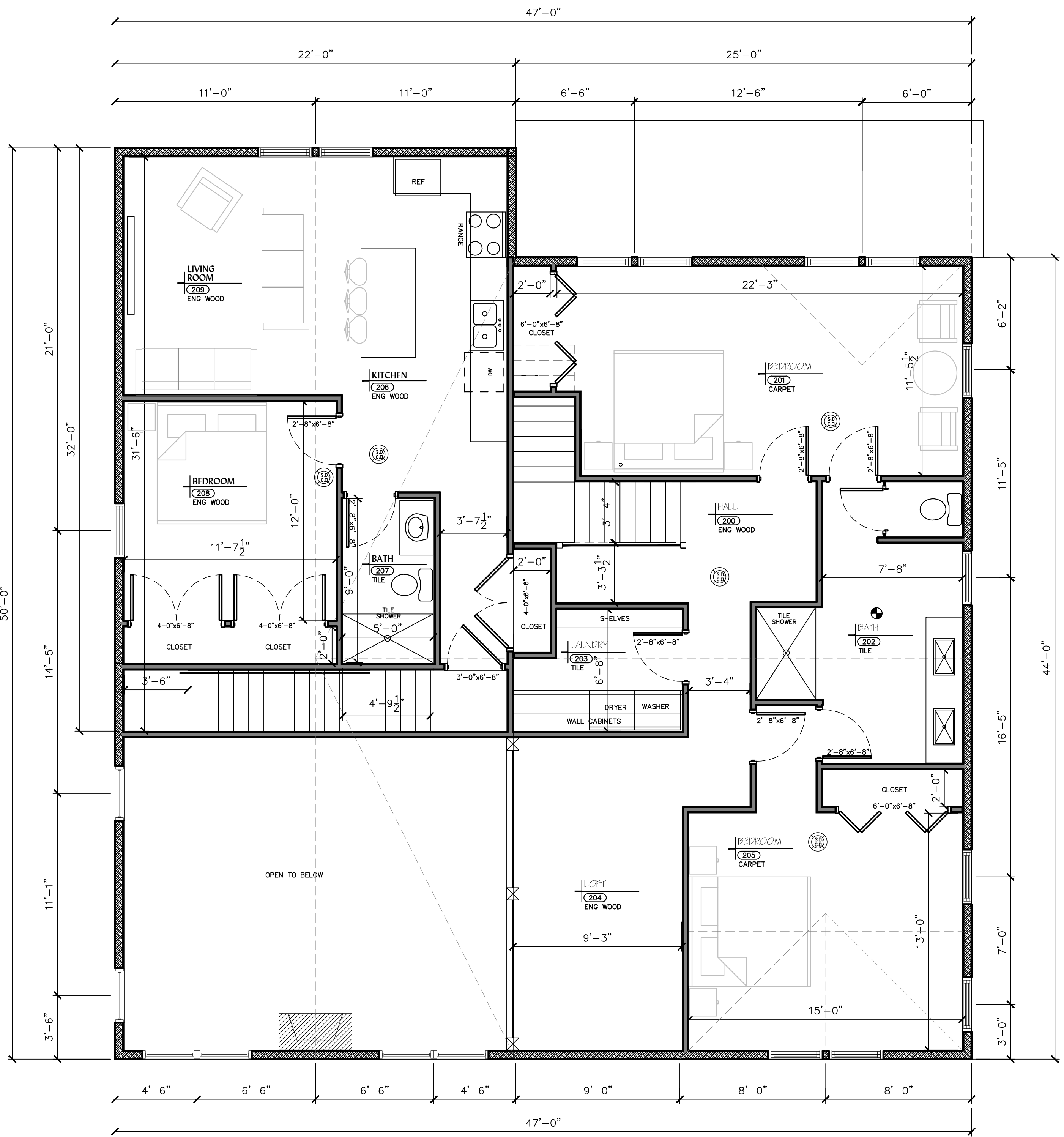
\* PSL INDICATES PARALLEL STRAND LUMBER  
\*\* L.V. INDICATES LAMINATED VENEER LUMBER  
I. METAL HANGERS & FASTENERS USED WITH P.T. LUMBER TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

**10. NAILING SCHEDULE:**

JOIST TO SILL OR GIRDER	3-8d	TOE NAIL
BRIDGING TO JOIST	3-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-16d	BLIND & FACE
SOLE PL. TO JOIST	16d @ 16" o.c.	FACE NAIL
TOP PL. TO STUDS	2-16d	END NAIL
STUD TO SOLE PL.	3-8d OR 2-16d	TOE NAIL
DOUBLE STUDS	10d @ 24" o.c.	FACE NAIL
DOUBLE TOP PL.	10d @ 24" o.c.	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16" o.c.	EDGE NAIL
CLG. JST. TO PL.	3-8d	TOE NAIL
CLG. JST. LAP OVER PL.	3-10d	FACE NAIL
CLG. JST. TO RAFTER	3-10d	FACE NAIL
RAFTER TO TOP PL.	2-16d	TOE NAIL
CORNER TRIC (EA. END)	3-10d (U.N.O.)	FACE NAIL
BUILT-UP CORNER STUDS	10d @ 24" o.c.	FACE NAIL
PLYWOOD SUBFLOOR	6d @ 8" o.c.	EDGE NAIL
SOLID BLOCKING @ BEARING	3-8d	TOE NAIL
PLY WALL & ROOF SHEATHING	8d @ 6" o.c.	EDGE NAIL
PLY WALL & ROOF SHEATHING	8d @ 12" o.c.	FIELD NAIL
STARTLED ROOF SHEATHING	3" o.c.	EDGE NAIL
PLYWOOD SHEATHING	6d @ 12" o.c.	FIELD NAIL
TOP PL. AT INTERSECTIONS	2-10d	FACE NAIL
MULTIPLE JOISTS (UP TO 3)	16d @ 16" o.c.	STAGGERED @ 24" o.c.
MULTIPLE JOISTS (OVER 3)	16d @ 16" o.c.	STAGGERED @ 24" o.c.
1 X 6 SPACED SHEATHING	2-8d	FACE NAIL
RAFTERS TO HIPS, VALLEY	4-16d	TOE NAIL
OR RIDGES	2-16d	FACE NAIL
RAFTER LEDGERS	3-20d	EACH STUD

**SPAN TABLES**  
(BASED ON WDMA, 48% REDUCED (SHAKE) (2000M LOADS))

NO. OF JOIST MEMBER	FLOOR (10# D.L.)		CEILING (10# D.L.)		RAFTERS (10# D.L.)		TILE COMP. / SHAKE (10# D.L.)	
	SPAC'G	SPAN	SPAC'G	SPAN	SPAC'G	SPAN	SPAC'G	SPAN
2 X 6	12"	10'-8"	14"-10"	14'-10"	2 X 6	12"	11'-7"	13'-5"
	16"	9'-9"	12'-10"	12'-10"	16"	12'-2"	15'-0"	18'-5"
2 X 8	12"	14'-2"	18'-4"	18'-4"	2 X 8	12"	14'-2"	17'-2"
	16"	12'-7"	16'-2"	16'-2"	16"	12'-2"	15'-0"	18'-5"
2 X 10	12"	17'-7"	22'-11"	22'-11"	2 X 10	12"	17'-11"	21'-2"
	16"	15'-5"	19'-10"	19'-10"	16"	15'-6"	18'-5"	21'-4"
2 X 12	12"	20'-7"	26'-7"	26'-7"	2 X 12	12"	20'-5"	24'-8"
	16"	17'-10"	23'-0"	23'-0"	16"	18'-0"	21'-4"	27'-4"



**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"  
SECOND FLOOR AREA=1,032 SF  
GARAGE AREA=692 SF

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT

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**PROPOSED SECOND FLOOR PLAN**

**AARON B. TILLER**  
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5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN F O R  
**PERKINS RESIDENCE**  
16 FILLMORE DRIVE  
ELLCOTTVILLE, NEW YORK 14731

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DATE:	REVIEWED BY:
DRAWING NO: <b>A102</b>	

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**FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"



**REAR ELEVATION**

**PROPOSED  
 ELEVATIONS**

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RESIDENTIAL DESIGN  
 FOR  
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 RESIDENCE**  
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DATE: 8-22-2023 REVIEWED BY:

DRAWING NO: **A201**

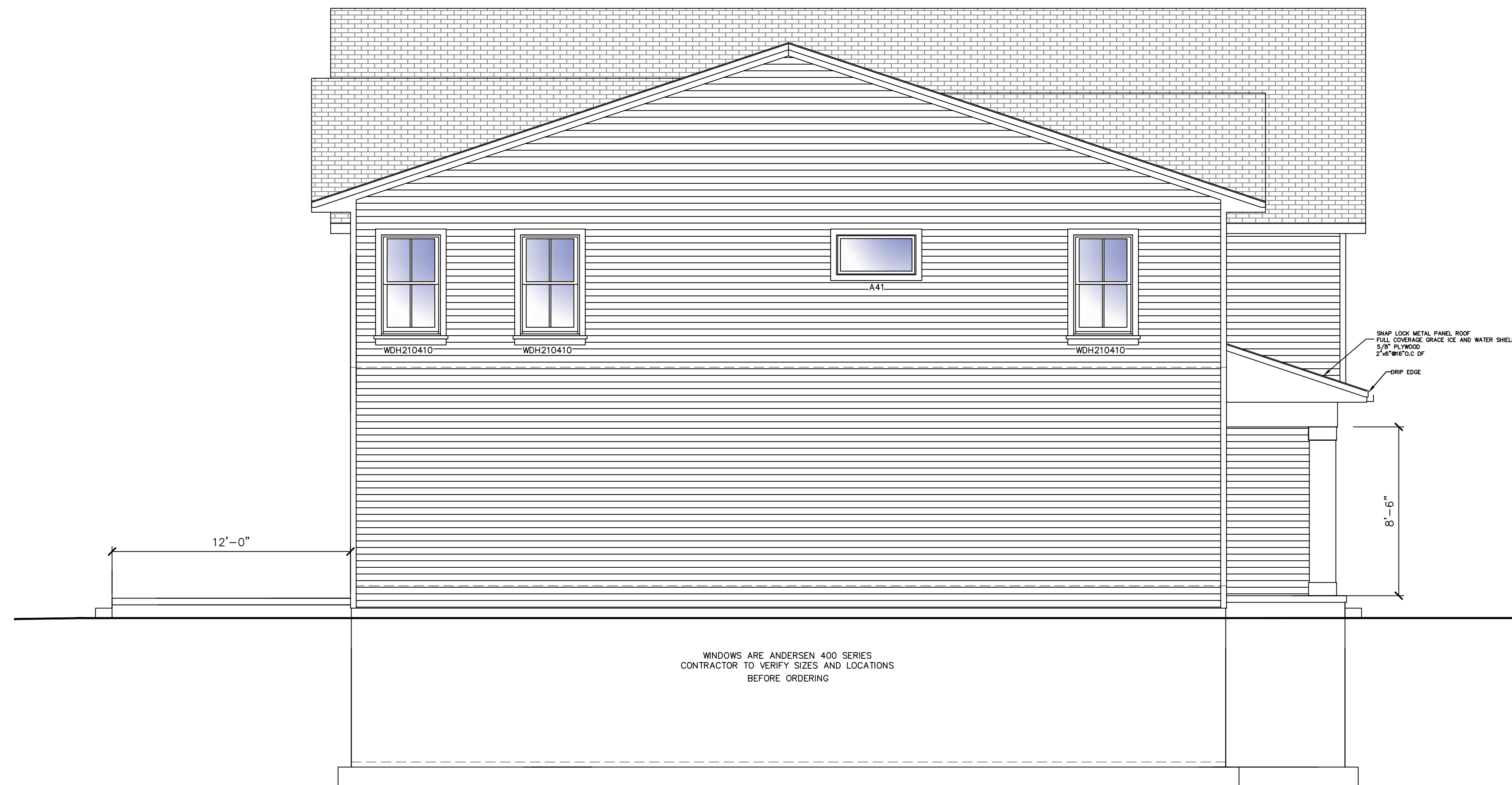
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**RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT ELEVATION**

**PROPOSED ELEVATIONS**

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 FOR  
**PERKINS RESIDENCE**

16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:

DATE: 8-22-2023 REVIEWED BY:

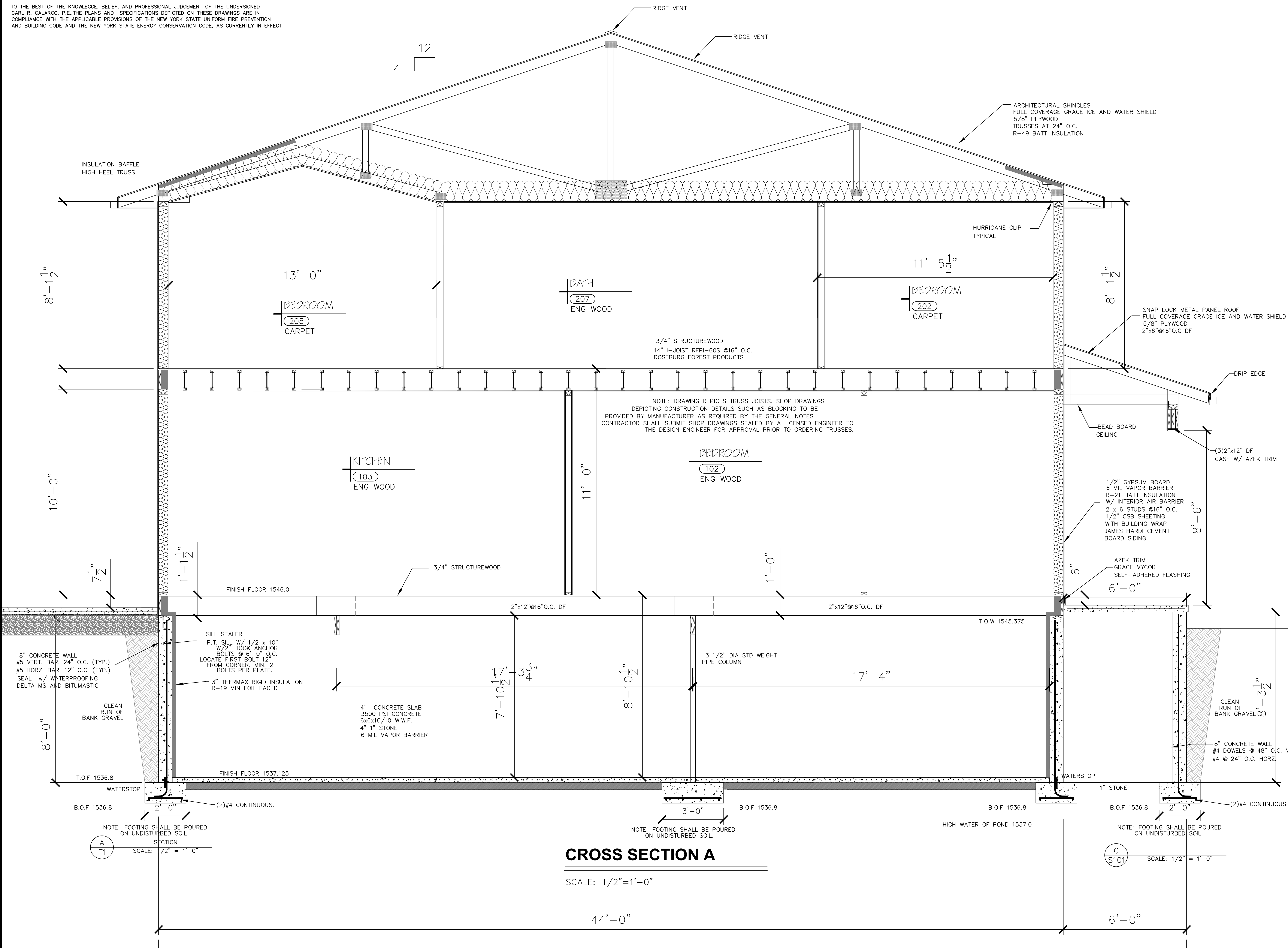
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**A202**

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PROPOSED  
CROSS SECTION

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RESIDENCE**  
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**CROSS SECTION A**

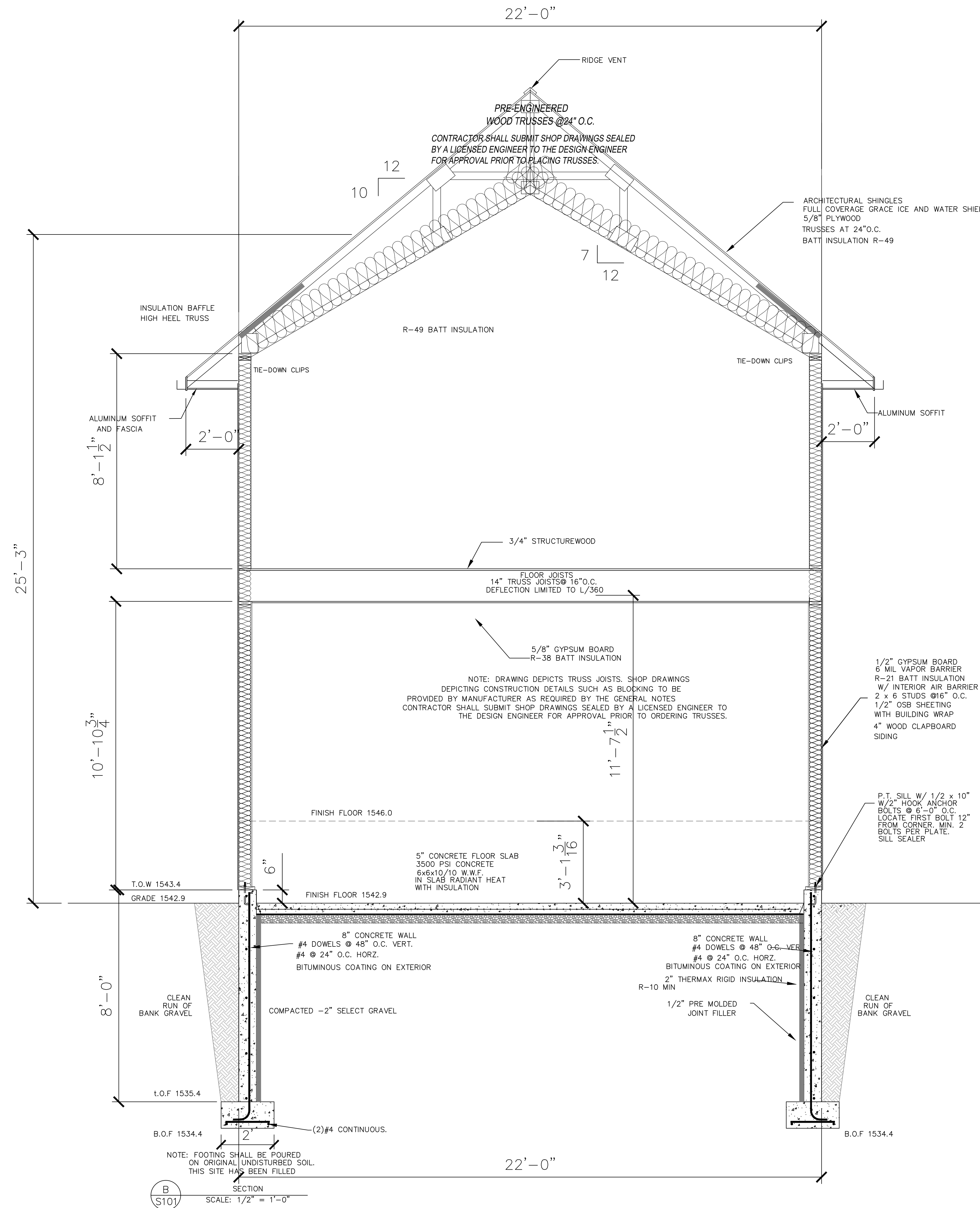
SCALE: 1/2"=1'-0"

44'-0"

C/S101 SCALE: 1/2"=1'-0"

6'-0"

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 AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT



B  
S101

SECTION  
SCALE: 1/2" = 1'-0"

CROSS SECTION B

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**PROPOSED  
CROSS SECTION**

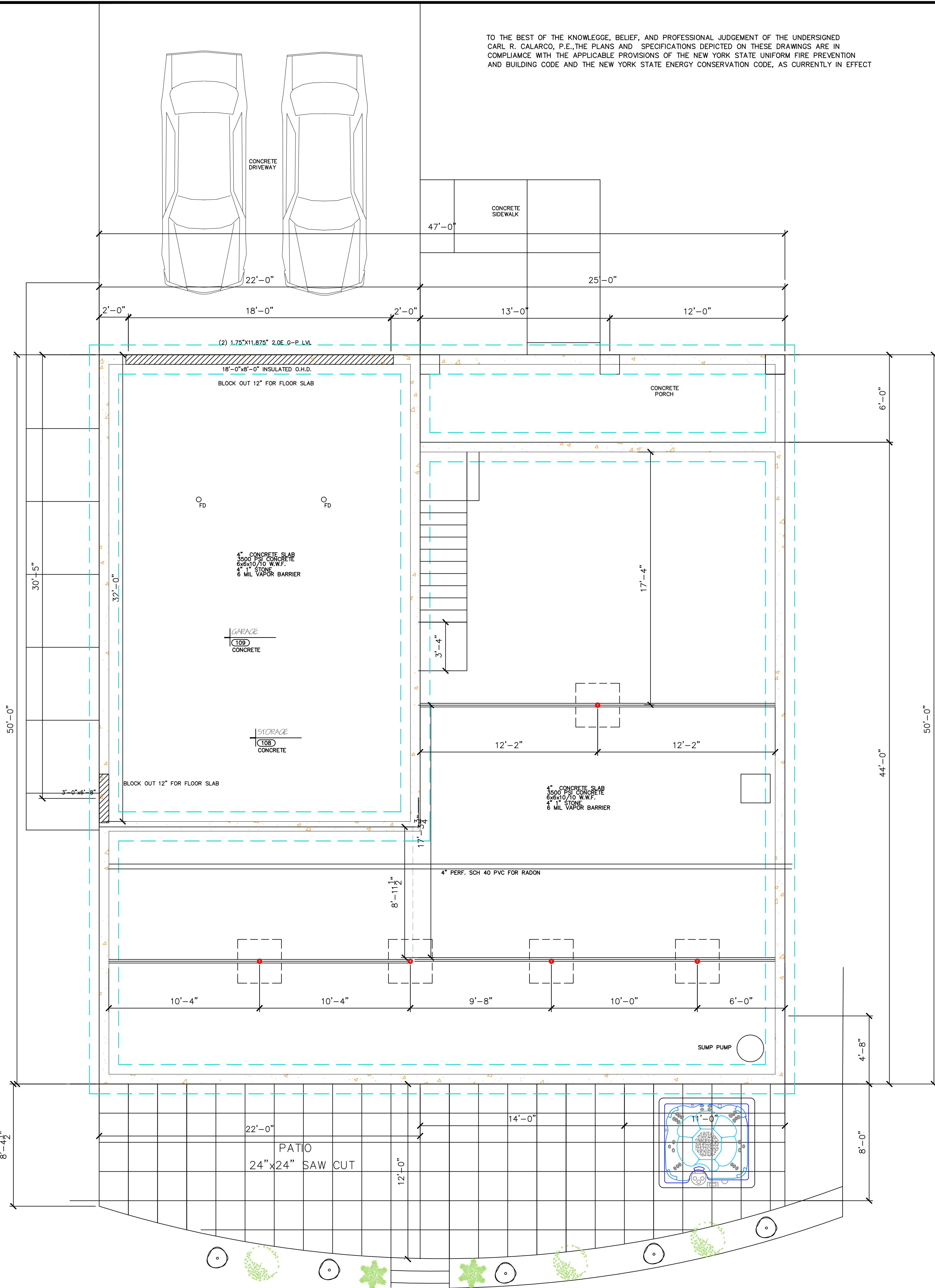
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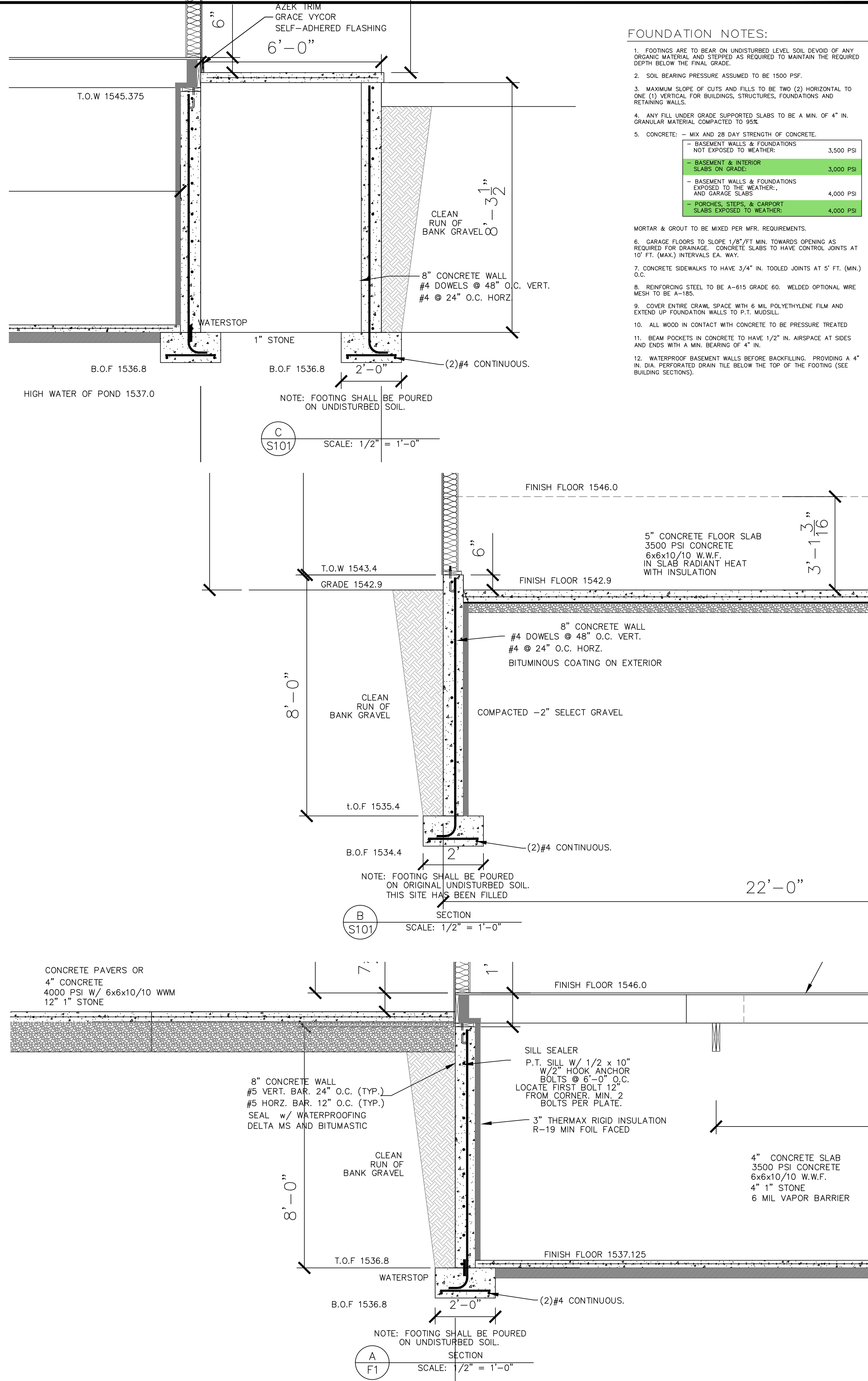
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**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"  
 FIRST FLOOR AREA=1,379 SF  
 GARAGE AREA=712 SF



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**PROPOSED FOUNDATION PLAN**

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DRAWING NO:	<b>S101</b>